



# Memo

FROM THE DESK OF THE ZONING ADMINISTRATOR

To: Planning Commission

Date: Sept 12

Re: Sept 16 meeting notes

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Dear Planners,

We have a Holiday Inn Site Plan review to begin. I believe we can get this started with conditions that subsequent require variances are approved, and a return for a Special Use Permit. See the email in your packet outlining an approach to getting the approvals in to allow a Fall start.

Our sign consultant will present the proposed new sign language.

**CHARTER TOWNSHIP OF UNION**  
**Planning Commission**  
**Agenda**

**Date: September 16 , 2014**

**Time: 7:00 p.m.**

**Place: Union Township Hall**

**Pledge of Allegiance**

**Roll Call**

**Approval of August 19, 2014 Minutes**

**Correspondence**

**Approval of Agenda**

**Public Comment: Restricted to three (3) minutes regarding issues not on this agenda**

**New Business**

**1.) SPR 1797 Site Plan Review for a Holiday Inn**

**Location: east of 5260 E Pickard Road**

**2.) OTH 1558 Sign Ordinance - Recommended Text**

**Other Business**

**Extended Public Comment**

**Adjournment**

**CHARTER TOWNSHIP OF UNION**  
**Planning Commission**  
**Regular Meeting**

A regular meeting of the Charter Township of Union Planning Commission was held on August 19, 2014 at the Township Hall.

**Meeting was called to order at 7:15 p.m.**

**Roll Call**

**Present:** Squattrito, Jankens, LaBelle, Henley, Mielke (**Late**)

**Excused:** McGuirk, Primeau, Shingles

**Absent:** Fuller

**Others Present**

Woody Woodruff, Zoning Administrator; Margie Henry, Twp. Clerk

**Approval of Minutes**

**Henley** moved and **Jankens** supported the approval of the June 17, 2014 meeting minutes with minor spelling revisions. **Ayes: All. Motion carried.**

**Correspondence** – None

**Approval of Agenda**

**Mielke** moved and **LaBelle** supported approval of the agenda as presented. **Ayes: All. Motion carried.**

**Public Comment** – None

**New Business** –

- 1. TXT 1790 – Text Amendment: An Amendment to Union Township Medical Marihuana zoning regulations to bring them into conformance with recent changes to Michigan Law.**

Discussion was held on proposed revisions to the township zoning ordinance on medical marihuana. Revisions were suggested by the township attorney as a result of recent court rulings.

Chairman Squattrito opened the floor for public comment on the issue.

**Public Comment** – None

Mr. Woodruff informed the commissioners that the amendment would be forwarded to the County for approval as a matter of the legal process.

**Jankens** moved and **Henley** supported recommendation of TXT Amendment 1790 to the Board of Trustees for approval. **Ayes: All. Motion carried.**

**Old Business** - None

**Other Business**

Discussion was held on the sign ordinance update in regards to current applications.

**Extended Public Comment** – None

**Adjournment** – Chairman Squattrito adjourned the meeting at 7:37 p.m.

**APPROVED BY:**

\_\_\_\_\_  
**Alex Fuller - Secretary**

## Union Township Site Plan Review Application 2014 Revision

**FILL OUT THE FOLLOWING**

- I. This application is for (circle one) Preliminary Site Plan Review Final Site Plan Review
- II. Applicant Name Mount Pleasant Hotels, LLC
- III. Applicant Address 1130 E. Square Lake Rd Bluffd Hls Mi. 48304
- IV. Applicant Phone 248.601.7500 Owner Phone 248.686.7284
- V. Applicant is (circle) Contractor Architect/Engineer Developer Land Owner (skip V& VI)  
Other
- VI. Land Owner Name David A. Lee
- VII. Land Owner Address \_\_\_\_\_
- VIII. Project/Business Name \_\_\_\_\_
- IX. Fill out check list that follows. You must check off that each item has been included in the drawing. If an item is not going to be included in the construction, note that in the comment area. For the first three items, check off if you have made the required submittals to other reviewing agencies.

SUBMITTALS TO OTHER AGENCIES		✓ Off	
Storm water management plan approval prior to application. Reviewed by the County Engineer		✓	Copy of Union Township Storm Water Management Plan available upon request. Submit (2) copies of plan and calculations directly to the Isabella County Engineer, contact Bruce Rohrer at (989) 772 0911, ext. 231. Any review fees are additional.
All curb cuts, acceleration/deceleration lanes, additional drives, and other matters pertaining to roads to be approved by MDOT or Isabella County Road Commission prior to application.		✓	MDOT (M 20, BR 127 sites) at (989) 773 7756. Contact Isabella County Road Commission (all other county roads) at (989) 773 7131. Submit (3) copies. <u>NA - Driveway is existing</u>
Mt. Pleasant Fire Dept.		✓	Sgt Rick Bellnick (989) 779-5122, (2) copies
Isabella Co Transportation Commission (ICTC)		✓	Denny Adams (989) 773 2913 Bxt 106, (2) copies
<b>WELLHEAD PROTECTION REPORTING FORMS (Required for all Site Plans)</b>			
Hazardous Substances Reporting Form Part I and II		✓	
PERMIT INFORMATION - DEO Check List		✓	
<b>SITE PLAN REQUIREMENTS</b>			
Name and addresses of Property Owner		✓	Mt. Pleasant Hotels LLC d.b.a. "Amerilodge Group" See above
Name and Address of Applicant			
Provide Construction Type (per Michigan Building Code) and if sprinkled, (assume Type IVb, un-sprinkled if not provided)			Level (2-5) - Hotel R-1. Construct Type - VA Level 1 - Restaurant and Lobby A-2 Const Type III B Entire building will be sprinkled

## Union Township Site Plan Review Application 2014 Revision

<p>The <u>date</u>, <u>north arrow</u> and <u>scale</u>. The scale shall be not less than 1"=20' for property under three (3) acres and not more than 1"=40' for property greater than three acres.</p>	<p>✓</p>	
<p>All lot and/or <u>property lines</u> are to be shown and dimensioned, including <u>building setback lines</u></p>	<p>✓</p>	
<p>The location and dimensions of all existing and proposed:  <u>fire hydrants</u> (within 400 feet of building) - - - -  <u>drives</u>, - - - - -  <u>sidewalks</u>, (required) - - - - -  <u>curb openings</u>, - - - - -  <u>acceleration/deceleration lanes</u>, - - - - -  <u>signs</u>, - - - - -  <u>exterior lighting</u> on buildings and parking lots, - -  <u>parking areas</u> (Including hand capped parking spaces, barrier-free building access, unloading areas), - - - - -  <u>recreation areas</u>, - - - - -  <u>common use areas</u>, - - - - -  <u>areas to be conveyed for public use and purpose</u>, -</p>	<p>✓</p>	
<p>Elevation of building front, side, and back. Include Sign size, height, and design. Canopy heights extending over driveways accommodate Public Transportation</p>	<p>✓</p>	<p>Canopy Height = 11'-5 1/2"</p>
<p>Source of utilities. Public water and sewer approval by Union Township Utility Coordinator prior to application.</p>		<p>Note: Union Township policy is to issue sewer and water permits after application for a building permit. Applicant is advised to contact the utility department for availability prior to site plan review. The township does not coordinate other utility matters. Applicant to assure himself that site is suitable for septic systems, contact Central Michigan District Health Department (773 5921)</p>
<p>All dumpsters shall be screened from public view with an opaque fence or wall no less than six feet in height. Show location. (Note most refuse contractors require concrete pad to place dumpsters upon)</p>	<p>✓</p>	
<p>The location and right-of-way width of all abutting roads, streets, alleys and easements.</p>	<p>✓</p>	
<p>A locational sketch drawn to scale giving the section number and the nearest crossroads.</p>	<p>✓</p>	



**Union Township Site Plan Review Application** 2014 Revision

I submit the site plan and this application as a true representation of existing and proposed conditions. I agree to install all features as shown and to abide by conditions placed upon approval of this plan by the Union Township Planning Commission. False or inaccurate information placed upon this plan may be cause for revocation of any permits issued pursuant to site plan approval and / or removal of work installed. Any changes to the Site Plan now or in the future must be approved by the Union Township Planning Commission or Zoning Administrator. Approval of this plan shall not constitute the right to violate any provisions of the Union Township Zoning Ordinance 1991-5, or other applicable building or state codes and or laws.

\_\_\_\_\_  
Signature of Applicant

\_\_\_\_\_  
Date

8-27-14

\_\_\_\_\_  
Signature of Owner (if other than applicant)

\_\_\_\_\_  
Date

8-26-14

PLEASE PLACE OUR REVIEW ON THE 9/16/14 (INSERT DATE)  
PLANNING COMMISSION MEETING. An owners representative WILL / WILL NOT attend. You  
will not receive a reminder of the scheduled meeting.

# CHARTER TOWNSHIP OF UNION

## SITE PLAN REVIEW HAZARDOUS SUBSTANCES REPORTING FORM

This form must be completed and submitted as part of the site plan for facilities which may use, store, or generate hazardous substances or polluting materials (including petroleum-based products)

Name of business: Mount Pleasant Hotels LLC

Name of business owner(s):  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_


Street and mailing address 1040 W. Hamlin Rd  
Rochester Hills, MI 48309

Telephone: 248 601-2500

Fax: 248 651-0717

Email: asa@amenlodgegroup.com

**I affirm that the information submitted is accurate.**

Owner(s) signature and date:   
01/2/14

Information compiled by:  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



## Part 1: Management of Hazardous Substances and Polluting Materials

1. Y N Will the proposed facility store, use or generate hazardous substances or polluting materials (including petroleum-based products) now or in the future? **If yes**, please complete this form and submit with your site plan. A catalogue and map of natural resources on and near the site, including an assessment of groundwater vulnerability is required to be submitted with your plan.
  
2. Y N Will the hazardous substances or polluting materials be reused or recycle on-site?
  
3. Y N Will any hazardous substances or polluting materials be stored on-site? **If yes**, identify the storage location on the site plan. Describe the size and type of secondary containment structure here or on an attached page. Submit a map and/or diagram of facilities on the site related to groundwater protection, including secondary containment structures, loading/unloading areas, drinking water wells, septic systems, underground storage tanks and storm drain inlets.
  
4. Y N Will the new underground storage tanks be located less than 2000 feet from a drinking water well serving more than a single household?
  
5. Y N Are existing underground storage tanks on-site less than 200 feet from a drinking water well serving more than a single household?  
  
If the answer to questions 4 or 5 are yes, you may be in violation of the State of Michigan underground storage tank regulations . For specific requirements, please contact the MDEQ Underground Storage Tank Division. District Office Telephone: 989-894-6200 (Saginaw Bay District Office)
  
6. Y N Will the interior of the facility have general purpose floor drains? (general purpose floor drains should not be connected to a sanitary sewer system, stormwater drainage system, dry well or septic system). If yes, will the floor drain connect to: (circle one)
  - a. on-site holding tank
  - b. on-site system  
The on-site system must be approved by the MDEQ.  
Contact: MDEQ Waste Management Division.  
District Office telephone: 989-894-6200 (Saginaw Bay District Office)
  
7. Y N Will hazardous substances or polluting materials be stored, used, or handled out-of doors near storm drains which discharge to lakes, streams, or wetlands? If yes, describe the type of catch basin or spill containment facilities which will be used (use an attached sheet with diagram if appropriate).

cc: Charter Township of Union Department of Public Works





## PERMIT INFORMATION

[www.michigan.gov/deqpermits](http://www.michigan.gov/deqpermits)

The Department of Environmental Quality (DEQ) has prepared a list of key questions to help identify what DEQ permits, licenses, or approvals of a permit-like nature may be needed. By contacting the appropriate offices indicated, you will help reduce the possibility that your project or activity will be delayed due to the untimely discovery of additional permitting requirements later in the construction process. While this list covers the existence of permits and approvals required from the DEQ, it is not a comprehensive list of all legal responsibilities. A useful way to learn whether other requirements will apply is to go through the Self-Environmental Assessment in the Michigan Guide to Environmental, Health, and Safety Regulations, online at: <http://www.michigan.gov/ehsguide>. Please call the Environmental Assistance Center at 800-662-9278 to talk with any of the DEQ programs noted below.

KEY QUESTIONS:	Yes <input type="checkbox"/>	No <input type="checkbox"/>	PROGRAM WEBPAGE AND CONTACTS
<b>MISCELLANEOUS CONSTRUCTION</b>			
<i>Air Quality Permit to Install:</i> Will your business involve the installation or construction of any process equipment that has the potential to emit air contaminants (e.g. dry sand blasting, boilers, standby generators)?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Air Quality Division (AQD), <a href="#">Permit Section</a>
<i>Asbestos Notification:</i> Does the project involve renovating or demolishing all or portions of a building? Notification is required for asbestos removal and required for all demolitions even if the structure never contained asbestos.	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	AQD, <a href="#">Asbestos Program</a>
<i>Land and Water Featured Programs (Water Resources Division) - USACE Consolidated Permits:</i> Please consult the <a href="#">Land and Water Management Decision Tree</a> document to evaluate whether your project needs a land and water management permit (i.e., Does the project involve filling, dredging, placement of structures, draining, or use of a wetland?).	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Water Resources Division (WRD), <a href="#">Joint Permit Application</a>
<i>Soil Erosion and Sedimentation Control:</i> Does the project involve an earth change activity (including land balancing, demolition involving soil movement, and construction)?	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>	<a href="#">Soil Erosion and Construction Storm Water</a> , or Contact your <a href="#">Local Agency</a>
<i>NPDES Storm Water Discharge from Construction Sites Notice of Coverage:</i> Does the project involve construction which will disturb one or more acres that come into contact with storm water that enters a storm sewer, drain, lake, stream, or other surface water?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	NPDES <a href="#">Storm Water Permits Program</a> , or appropriate <a href="#">DEQ District Office</a>
<i>Public Swimming Pool Construction (Spas/Hot Tubs) Permits:</i> Will your business involve the construction or modification of a public swimming pool, spa or hot tub?	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>	<a href="#">Public Swimming Pool Program</a> , or appropriate <a href="#">DEQ District Office</a>
<i>Threatened and Endangered Species:</i> Does the project involve activities that would destroy a protected species of plant or animal or disturb a protected animal species?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	<a href="#">Endangered Species Assessment, Threatened and Endangered Species Program</a> , 517-373-1552
Does the project involve <i>construction</i> or alteration of any <i>sewage collection or treatment</i> facility?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Appropriate <a href="#">District Office</a> , WRD, Part 41 <a href="#">Construction Permit Program</a>
Does the project involve construction of a facility that landfills, transfers, or processes of any type of <i>solid non-hazardous waste</i> on-site, or places <i>industrial residuals/sludge</i> into or onto the ground?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Office of Waste Management and Radiological Protection (OWMRP), <a href="#">Solid Waste</a> , Appropriate <a href="#">DEQ District Office</a>
Does the project involve the construction of an on-site treatment, storage, or disposal facility for <i>hazardous waste</i> ?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, <a href="#">Hazardous Waste Section, Treatment, Storage and Disposal</a>
<b>WATER SUPPLY (More information, see: <a href="http://www.michigan.gov/deqwater">http://www.michigan.gov/deqwater</a>; select "drinking water")</b>			
I am buying water from my community water supply (i.e. city of Detroit or Grand Rapids)	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>	Contact your <a href="#">Local Water Utility</a>
I have a private or other water supply well (Type III)	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Contact your (District or County) <a href="#">Local Health Department</a>
I have a Non-Community Water Supply (Type II)	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	<a href="#">Guide</a> , Contact your (District or County) <a href="#">Local Health Department</a>
I am a community water supply (Type I)	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	<a href="#">Community Water Supply, DEQ District Office Community Water Supply Program</a>

WASTEWATER MANAGEMENT			
<i>Storm Water Discharge to Wetlands:</i> Will storm water be collected, stored, or treated in a wetland area from a public road, industrial, commercial, or multi-unit residential development?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Joint Permit Application</u>
<i>Great Lakes:</i> Does the project involve construction, filling, or dredging below the Ordinary High Water Mark of one of the Great Lakes?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Joint Permit Application</u>
<i>Inland Lakes and Streams:</i> Does the project involve any dredging, filling, placement of structures, or the operation of a marina within an inland waterbody (e.g. lake, river, stream, drain, creek, ditch, or canal), enlargement of a waterbody, or excavation of a pond within 500 feet of a waterbody?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Joint Permit Application</u>
<i>Storm Water Ponds and Discharges to Inland Lakes/Streams, or Great Lakes:</i> Will storm water from any road or any other part of the development be discharged either directly or ultimately to an inland waterbody, or one of the Great Lakes; or will a storm water pond be constructed within 500 feet of an inland waterbody?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Joint Permit Application</u>
Does the project involve placement of fill, earth moving, or placement of structures within the 100-year <i>floodplain</i> of a watercourse?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Joint Permit Application</u>
Does the project involve construction of a building or septic system in a designated Great Lakes <i>high risk erosion area</i> ?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Shoreland Management</u>
Does the project involve dredging, filling, grading, or other alteration of the soil, vegetation, or natural drainage, or placement of permanent structures in a designated <i>environmental area</i> ?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Shoreland Management</u>
Does the project propose any development, construction, silvicultural activities or contour alterations within a designated <i>critical dune area</i> ?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Sand Dune Management</u>
Does the project involve construction of a <i>dam</i> , weir or other structure to impound flow?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Dam Safety Program</u>
CONSTRUCTION PERMITS (SECTOR SPECIFIC)			
Does the project involve the construction or alteration of a water supply system or sewage disposal system for a <b>manufactured housing</b> project?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Office of Drinking Water & Municipal Assistance (ODWMA)
Does the project involve a <b>subdivision or site condominium</b> project utilizing individual on-site subsurface disposal systems or individual wells?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	ODWMA
Does the project involve the construction or modification of a <b>campground</b> ?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	ODWMA, <u>Campgrounds program</u>
Does the project involve the construction or modification of a <b>public swimming pool</b> ?	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>	ODWMA, <u>Swimming pools program</u>
OPERATIONAL PERMITS			
<b>Renewable Operating Permit:</b> Does your facility have the potential to emit any of the following: 100 tons per year or more of any criteria pollutant; 10 tons per year or more of any hazardous air pollutant; or 25 tons per year or more of any combination of hazardous air pollutants?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	AQD, <u>Permit Section</u>
<b>NPDES:</b> Does the project involve the discharge of any type of wastewater to a storm sewer, drain, lake, stream, or other surface water?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, Appropriate <u>DEQ District Office</u> , or <u>National Pollutant Discharge Elimination (NPDES) Permit Program</u>
Does the facility have <b>industrial</b> activity that comes into contact with <b>storm water</b> that enters a storm sewer, drain, lake, stream, or other surface water?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Permits Section</u> , or appropriate <u>DEQ District Office</u>
Does the project involve the discharge of <b>wastewaters</b> into or onto the <b>ground</b> (e.g. subsurface disposal or irrigation)?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Groundwater Permits Program</u>
Does the project involve the drilling or deepening of <b>wells for waste disposal</b> ?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Office of Oil, Gas and Minerals (OOGM)
Does the project involve landfilling, transferring, or processing of any type of <b>solid non-hazardous waste</b> on-site, or placing <b>Industrial residuals/sludge</b> into or onto the ground?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	<u>OWMRP</u> or Appropriate <u>DEQ District Office</u>

Does the project involve the on-site treatment, storage, or disposal of hazardous waste?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OWMRP, <u>Hazardous and Liquid Waste</u>
Does the project require a <b>site identification number</b> (EPA number) for regulated waste activities (used oil, liquid waste, hazardous waste, universal waste, PCBs)? ( <u>Web Site</u> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OWMRP, Appropriate <u>DEQ District Office</u>
Does the project involve the receipt, possession, manufacture, use, storage, transport, transfer, release, or disposal of <b>radioactive material</b> in any form?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OWMRP, <u>Radioactive Material and Standards Unit</u>
Does the project involve decommissioning or decontamination of tanks, piping, and/or appurtenances that may have <b>radioactive levels</b> above background?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OWMRP <u>Radioactive Material and Standards Unit</u>
Do you desire to develop a <b>withdrawal</b> of over 2,000,000 gallons of water per day from any source other than the Great Lakes and their connecting waterways? Or, do you desire to develop a withdrawal of over 5,000,000 gallons of water per day from the Great Lakes or their connecting waterways?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	WRD, DWEHS, <u>Source Water Protection Unit</u>
<b>CHEMICAL ADDITION PROJECTS</b>		
Are you using <b>chemicals</b> or materials in, or in contact with, <b>drinking water</b> at any point in the <b>water works system</b> ?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	WRD, Appropriate <u>DEQ District Office, Public Water Supply Program</u>
Are you applying a chemical treatment for the purpose of <b>aquatic nuisance control</b> (pesticide/herbicide etc) in a water body (i.e. lake, pond or river)? (5.	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	WRD, <u>Aquatic Nuisance Control</u> and Remedial Action Unit
Are you applying materials to a water body for a <b>water resource management project</b> (i.e. mosquito control treatments, dye testing, or fish reclamation projects)?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	WRD, <u>Surface Water Assessment Section</u>
<b>OPERATIONAL PERMITS (SECTOR SPECIFIC)</b>		
Does the project involve the transport of some other facility's non-hazardous liquid waste?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OWMRP, <u>Transporter Program</u>
Does the project involve the transport <b>hazardous waste</b> ?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OWMRP, <u>Transporter Program</u>
Does your facility have an <b>electric generating unit</b> that sells electricity to the grid and burns a fossil fuel?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	AQD, <u>Acid Rain Permit Program</u>
Is the project a <b>dry cleaning establishment</b> utilizing perchloroethylene or a flammable solvent in the cleaning process?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	DEQ, AQD, <u>Dry Cleaning Program</u>
Does your <b>laboratory test potable water</b> as required for compliance and monitoring purposes of the Safe Drinking Water Act?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	DEQ, <u>Laboratory Services Certifications</u>
Does the project involve the generation of <b>medical waste</b> or a facility that treats medical waste prior to its disposal?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OWMRP, <u>Medical Waste Regulatory Program</u>
Does the project involve transport of septic tank, cesspool, or dry well contents or the discharge of <b>septage</b> or sewage sludge into or onto the ground?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	ODWMA, <u>Septage Program</u>
Do you store, haul, shred or process <b>scrap tires</b> ?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OWMRP, <u>Scrap Tire Program</u>
Does the project involve the operation of a <b>public swimming pool</b> ?	Y <input checked="" type="checkbox"/> N <input type="checkbox"/>	ODWMA, <u>Public Swimming Pools Program</u>
Does the project involve the operation of a <b>campground</b> ?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	ODWMA, <u>Campgrounds</u>
Do you engage in the business of <b>hauling bulk water</b> for drinking or household purposes (except for your own household use)?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	ODWMA, <u>Water Hauler Information</u>
<b>PERSONAL LICENSES/CERTIFICATIONS</b>		
Are you designated by your facility to be the <b>Certified Operator</b> to fulfill the requirements of a wastewater discharge permit (NPDES including Storm	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	WRD, <u>Operator Training, Storm Water Program</u>

<b>Water or Groundwater)?</b>		
Are you a <b>drinking water operator</b> in charge of a water treatment or water distribution system, back-up operator, or shift operator?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	WRD, <u>Operator Training</u>
Are you a <b>water-well drilling contractor, pump installer, dewatering well contractor or dewatering well pump installer?</b>	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	WRD, <u>Well Construction Unit</u>
<b>OIL, GAS AND MINERALS</b>		
Do you want to operate a <b>central production facility</b> (applies to oil and gas production facilities where products of diverse ownership are commingled)?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Petroleum Geology and Production Unit</u>
Does the project involve the removal of sand from a <b>sand dune area</b> within two (2) miles of a Great Lakes shoreline?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, Minerals and Mapping Unit, <u>Sand Dune Mining Program</u>
Does the project involve the diversion and control of water for the mining and processing of <b>low-grade iron ore?</b>	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Minerals and Mapping</u>
Does the project involve the surface or open-pit mining of <b>metallic mineral deposits?</b>	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Minerals and Mapping</u>
Does the project involve the mining of <b>nonferrous mineral deposits</b> at the surface or in underground mines?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Minerals and Mapping</u>
Does the project involve mining <b>coal?</b>	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Minerals and Mapping</u>
Do you want to change the status of an <b>oil or gas well</b> (i.e. plug the well)?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Permits and Bonding Unit</u>
Does the project involve drilling of <b>oil, gas, brine disposal, secondary recovery, or hydrocarbon storage wells?</b>	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Permits and Bonding Unit</u>
Does the project involve plugging or deepening of an <b>oil or gas well</b> , or conveying rights in the well as an owner to another person?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Permits and Bonding Unit</u>
Does the project involve changing the status or plugging of a <b>mineral well?</b>	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Minerals and Mapping</u>
Does the project involve the drilling or deepening of wells for <b>brine production, solution mining, storage, or as test wells?</b>	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Minerals and Mapping</u>
Does the project involve decommissioning or decontamination of tanks, piping, and/or appurtenances that may have <b>radioactive levels</b> above background?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OWMRP, <u>Radioactive Protection Programs</u>
<b>STORAGE TANKS (CONSTRUCTION AND OPERATION)</b>		
Does the project involve the installation of an <b>aboveground storage tank</b> for a flammable or combustible liquid (under 200 degrees Fahrenheit)?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	Michigan Department of Licensing and Regulatory Affairs (DLARA) - <u>Storage Tank Unit, 517-335-7211</u>
Does the project involve the installation of a <b>compressed natural gas dispensing station</b> with storage?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	DLARA - <u>Storage Tank Unit, 517-335-7211</u>
Does the project involve the installation of a <b>liquefied petroleum gas</b> container filling location or storage location that has a tank with a capacity of more than 2,000 gallons or has two (2) or more tanks with an aggregate capacity of more than 4,000 gallons?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	DLARA - <u>Storage Tank Unit, 517-335-7211</u>
Does the project involve the installation, removal, or upgrade of an <b>underground storage tank</b> containing a petroleum product or a hazardous substance?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	DLARA - <u>Storage Tank Unit, 517-335-7211</u>
Does the project involve the installation of a <b>hydrogen system?</b>	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	DLARA - <u>Storage Tank Unit, 517-335-7211</u>



# Holiday Inn

### SHEET INDEX:

COVER SHEET.....	C1.0
TOPOGRAPHICAL SURVEY - DEMOLITION PLAN.....	C2.0
SITE PLAN.....	C3.0
SITE DETAILS.....	C3.1
UTILITY PLAN.....	C4.0
UTILITY DETAILS.....	C4.1
GRADING/STORM WATER MANAGEMENT.....	C5.0
LANDSCAPING PLAN.....	L1.0

### GENERAL NOTES:

- UNDERGROUND UTILITY LINES SHOWN REFLECT INFORMATION COLLECTED FROM UTILITY OWNERS AND VISIBLE MARKERS FOUND AT THE TIME OF SURVEY. SHOWN LOCATIONS ARE NOT INTENDED TO BE EXACT AND CONTRACTOR MUST VERIFY LOCATIONS OF ALL UTILITIES PRIOR TO EXCAVATION.
- DRAWING GENERATED BY AUTOCAD CIVIL 3D RELEASE 2014. COPYING OR REPRODUCTION MAY DISTORT SCALE, DO NOT SCALE FOR LAYOUT OR CONSTRUCTION.
- ANY INFORMATION OR DATA ON THIS DRAWING IS NOT INTENDED TO BE SUITABLE FOR REUSE BY ANY PERSON, FIRM OR CORPORATION OR ANY OTHERS ON EXTENSIONS OF THIS PROJECT OR FOR ANY USE ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION AND ADAPTATION BY THE SURVEYOR OR ENGINEER FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO THE SURVEYOR OR ENGINEER.
- BENCHMARKS:
 

1.) SE CORNER OF "ART VAN" SIGN BASE	ELEVATION = 763.25
2.) NE HYDRANT FLANGE BOLT, NE CORN OF PALMER & THIRD ST	ELEVATION = 761.02
3.) NE HYDRANT FLANGE BOLT, NW CORNER OF PALMER & SECOND ST	ELEVATION = 760.38
- ALL PLANS SUBJECT TO CHANGE DURING CONSTRUCTION

### PROPERTY DESCRIPTIONS:

LOTS 3, 4, 5, 7, 8, 9, 10, 11, & 12 AND THE NORTH HALF OF THE ALLEY SOUTH OF LOTS 3-5 AND THE SOUTH HALF OF ALLEY NORTH OF LOTS 7-12 OF BLOCK 3 OF GARDEN GROVE SUBDIVISION, ACCORDING TO THE PLAT THEREOF AS RECORDED IN LIBER 4 OF PLATS, PAGE 213, ISABELLA COUNTY RECORDS.

(STORMWATER DETENTION POND PARCEL) TAX ID 14-072-00-025-01

T14N R4W SEC 13 GARDEN GROVE #2 BEG AT NW COR OF LOT 1 BLK 3 TH E 85 FT ALONG N LINE TH S 35 FT TH W 3.5 FT TH S 157.5 FT TH W 81.5 FT TH N 192.5 FT TO POB

### ZONING INFORMATION:

ZONED: B-7 (RETAIL SERVICE HIGHWAY BUSINESS DISTRICT)  
 LOCATED IN M20/PICKARD CORRIDOR  
 SURROUNDING PROPERTY ZONED: B-7 & R2B (SOUTH OF PROPERTY)

PROPOSED USE: HOTEL & RESTAURANT  
 TO BE DETERMINED  
 PARCEL ADDRESS: MT. PLEASANT, MI 48858

PARCEL ID #: (14-146-) 00-013-00, 00-014-00, 00-015-00, 00-017-00, 00-018-00, 00-019-00, 00-020-00, 00-021-00, 00-022-00

SETBACK REQUIREMENTS: FRONT YARD: 15 FEET  
 SIDE YARD: 10 FEET  
 REAR YARD: 10 FEET

PARKING REQUIREMENTS (PER SECTION 10.2-B):  
 HOTEL: 1 PER 2 GUEST ROOMS (130 GUEST ROOMS/2) = 65  
 RESTAURANT: 1 PER 3 SEATS (172/3) = 58  
 ART VAN STORE: 1 PER 500 SFT (34,000/500) = 68  
**TOTAL REQUIRED 191**

PARKING PROPOSED:  
 RECIPROCAL AGREEMENT FOR SHARED PARKING  
 HOTEL/RESTAURANT ON SITE: 127  
 ART VAN ON SITE (EXISTING 62 PLUS 32 NEW PROPOSED) 94  
**TOTAL PROPOSED 221**  
 NO. BARRIER FREE SPACES PROVIDED: 15 (8 VAN ACCESSIBLE)

11.11 SIGNAGE ALLOTMENT - BUSINESS DISTRICT  
 A. TOTAL MAXIMUM SIGN AREA NOT TO EXCEED 200 SFT  
 FREESTANDING ELEVATED SIGN - MAX SFT 100, MAX HEIGHT 16

### UTILITY INFORMATION:

**ELECTRIC POWER**  
 Consumer Energy  
 1325 Wright Avenue  
 Alma, Michigan 48801  
 Phone: (888) 466-4265  
 Phone: (800) 482-7171 (Miss Dig)

**DEPARTMENT OF PUBLIC WORKS**  
 Charter Township of Union  
 2010 S. Lincoln Rd.  
 Mt. Pleasant, MI 48858  
 Phone: (989) 772-4600

**NATURAL GAS**  
 DTE Energy  
 One Energy Plaza  
 Detroit, MI 48226  
 Phone: (800)477-4747

**ISABELLA COUNTY DRAIN COMMISSION**  
 200 N. Main Street  
 Mt. Pleasant, Michigan 48858  
 Phone: (989) 772-0911

**TELEPHONE/COMMUNICATIONS**  
 Verizon  
 345 N. Pine Avenue  
 Alma, MI 48801  
 Phone: (989) 463-0459  
 Phone: (800) 482-7171 (Miss Dig)

**ROADS/HIGHWAY**  
 MICHIGAN  
 1212 Corporate Drive  
 Mt. Pleasant, MI 48858  
 Phone: (888) 466-4265  
 Phone: (800) 482-7171 (Miss Dig)

**CABLE TELEVISION**  
 Charter Communications  
 915 E. Broomfield  
 Mt. Pleasant, MI 48858  
 Phone: (989) 775-6846

## HOLIDAY INN AMERILODGE GROUP CIVIL PLANS

MT. PLEASANT HOTELS, LLC  
 1130 E. SQUARE LAKE RD, BLOOMFIELD HILLS, MI 48304

### LEGEND:

- |  |                                |  |                                 |
|--|--------------------------------|--|---------------------------------|
|  | EXISTING OVERHEAD UTILITY LINE |  | PROPOSED LIGHT POLE             |
|  | EXISTING SANITARY SEWER LINE   |  | PROPOSED SANITARY SEWER MANHOLE |
|  | EXISTING STORM SEWER LINE      |  | PROPOSED STORM CATCHBASIN       |
|  | EXISTING WATER LINE            |  | PROPOSED HYDRANT                |
|  | PROPOSED STORM SEWER LINE      |  | PROPOSED WATER VALVE            |
|  | PROPOSED SANITARY SEWER LINE   |  | PROPOSED HMA PAVING             |
|  | PROPOSED WATER LINE            |  | PROPOSED GRASS/LANDSCAPING AREA |
|  | PROPOSED SCREENING FENCE/WALL  |  | PROPOSED CONCRETE               |
|  | WATER VALVE                    |  | PROPOSED DECORATIVE CONCRETE    |
|  | GAS VALVE                      |  |                                 |
|  | HYDRANT                        |  |                                 |
|  | EX. STORM MANHOLE              |  |                                 |
|  | EX. SANITARY SEWER MH          |  |                                 |
|  | GUY WIRE                       |  |                                 |
|  | UTILITY POLE                   |  |                                 |
|  | EXISTING LIGHT POLE            |  |                                 |
|  | SAWCUT LINE                    |  |                                 |
|  | FOUND IRON                     |  |                                 |
|  | SET IRON                       |  |                                 |
|  | FOUND CONC. MON.               |  |                                 |
|  | SET CONC. MON.                 |  |                                 |

72 HOURS  
 BEFORE YOU DIG  
 CALL MISS DIG  
 TOLL FREE  
 (800) 482-7171



SECTION 13, T.14N.-R.4 W., UNION TOWNSHIP,  
 ISABELLA COUNTY, MICHIGAN  
**LOCATION MAP**  
 SCALE: NTS

PROJECT NUMBER: E140208 Timothy L. Lapham, P.S., P.E. No. 77595	DRAWN BY: JG/JB DATE: 8/29/2014	SCALE: SHEET 1 OF 8
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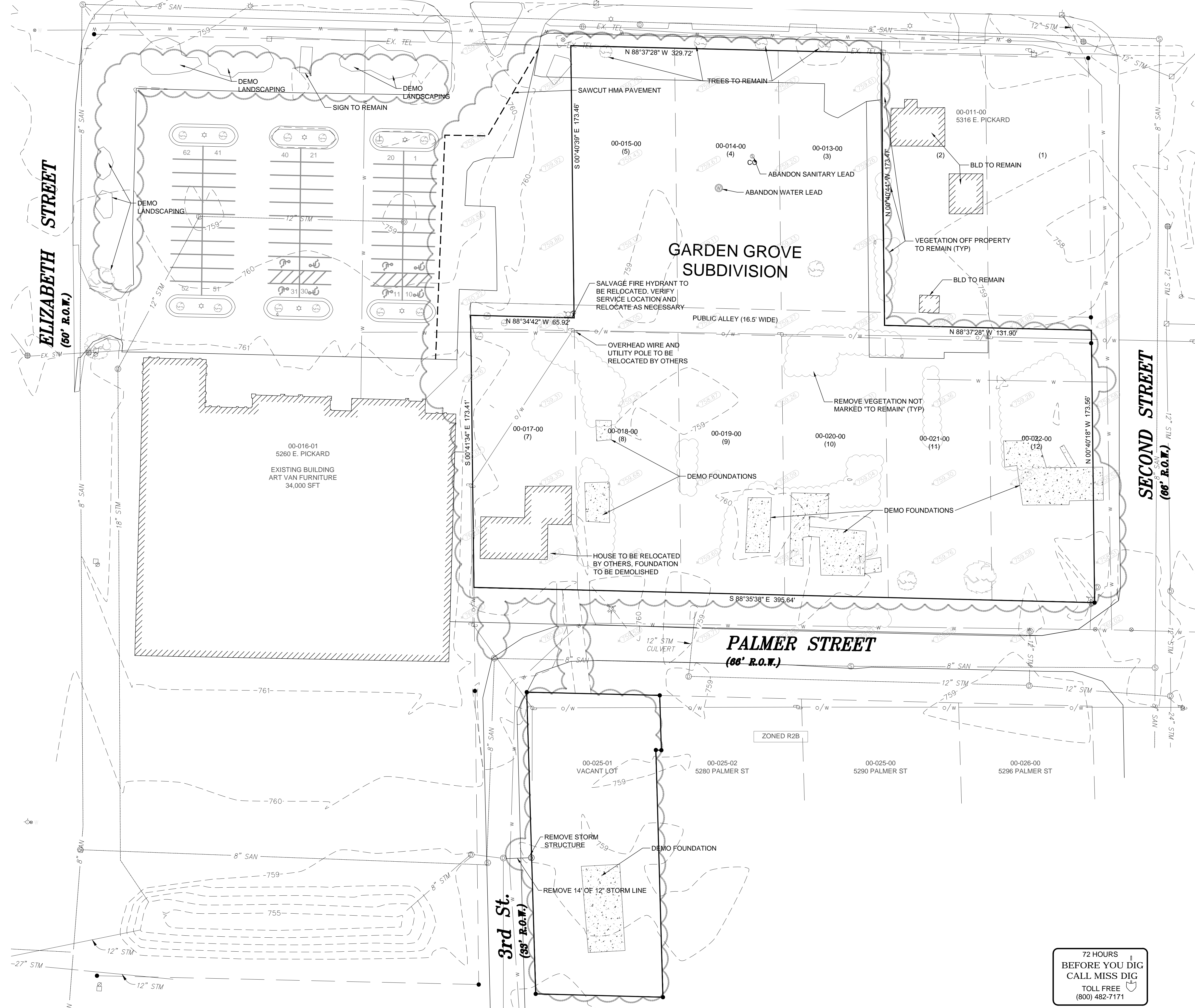
**HOLIDAY INN**  
**MT. PLEASANT HOTELS, LLC**  
 5280 E. PICKARD / M20  
 MT. PLEASANT, MI 48858

**LAPHAM ASSOCIATES**  
 ENVIRONMENTAL SURVEYING  
 515 East Fifth Street  
 Clare, Michigan 48617  
 Ph. (989) 386-7774  
 Fx. (989) 386-7152  
 www.laphamassoc.com  
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PICKARD ROAD (M-20)  
(120' R.O.W.)

# TOPOGRAPHICAL SURVEY / DEMO PLAN



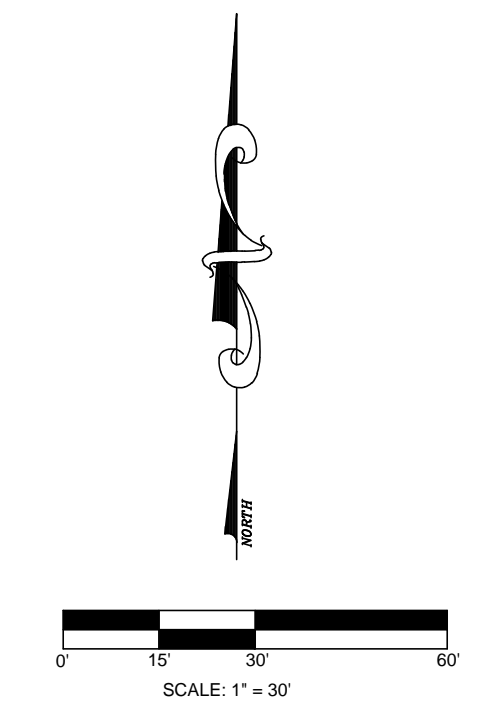
### LOCATION OF EXISTING UTILITIES

- EXISTING PUBLIC UTILITIES AND KNOWN UNDERGROUND STRUCTURES ARE SHOWN ON THE PLANS. THE INFORMATION SHOWN IS BELIEVED TO BE REASONABLY CORRECT AND COMPLETE. HOWEVER, NEITHER THE CORRECTNESS OR THE COMPLETENESS OF SUCH INFORMATION IS GUARANTEED. PRIOR TO THE START OF ANY CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY "MISS DIG" AND REQUEST THE UTILITY COMPANIES TO MARK THE UTILITIES IN QUESTION.
- SPECIAL CARE SHALL BE TAKEN IN EXCAVATING IN THE PROXIMITY OF ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL PROVIDE SUPPORT FOR ANY UTILITIES WITHIN THE EXCAVATION. PROVIDE PROPER COMPACTION UNDER ANY UNDERMINED UTILITY STRUCTURE AND IF NECESSARY, INSTALL TEMPORARY SHEETING OR USE A TRENCH BOX TO MINIMIZE THE EXCAVATION. CONTRACTOR SHALL PROTECT AND SAVE HARMLESS FROM DAMAGE ALL UTILITIES, ABOVE OR BELOW THE GROUND SURFACE, WHICH MAY BE ENCOUNTERED DURING CONSTRUCTION.

### DEMOLITION NOTES:

- ALL EXISTING STREET CURBING SHOWN TO BE REMOVED SHALL BE SAWCUT TO FULL DEPTH. PROVIDE NEAT AND CLEAN CUTS PARALLEL TO THE BACK OF CURB.
- AREA OF REMOVAL SHOWN IN DEMOLITION PLAN SHALL CONSIST OF THE REMOVAL OF ALL EXISTING PAVEMENTS, CURBS, LIGHT POLES (INCLUDING FOOTINGS), VEGETATION (INCLUDING STUMPS), UTILITIES (NOT OTHERWISE REUSED), ETC., AS REQUIRED FOR NEW CONSTRUCTION.
- THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTORS FULL RESPONSIBILITY TO CONTACT THE APPROPRIATE UTILITY COMPANY. NO COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY THEIR WORK FORCE.
- ALL ITEMS LABELED "TO REMAIN" ON THE DEMOLITION PLAN SHALL NOT BE MOVED, ALTERED, OR DAMAGED IN ANY WAY. NO COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE ITEMS CAUSED BY THEIR WORK FORCE.
- STRUCTURES ARE KNOWN TO HAVE BEEN FORMERLY LOCATED ON THE SUBJECT PROPERTY. THE DISPOSITION OF THE FOUNDATION AND ASSOCIATED UTILITIES FOR THIS STRUCTURE ARE UNKNOWN. CONTRACTOR SHALL DIG UP AND REMOVE ANY AND ALL FOUNDATIONS ENCOUNTERED FROM THE PROJECT SITE AND REMOVE OR PLUG AND ABANDON ANY UNUSED UTILITIES AT NO ADDITIONAL COST TO OWNER
- ALL SANITARY, WATER, AND/OR OTHER UTILITY LEADS, SHOWN OR NOT SHOWN, TO BE PROPERLY ABANDONED AND PLUGGED OR CAPPED AT PROPERTY LINE PER UTILITY OWNER REQUIREMENTS.

72 HOURS  
BEFORE YOU DIG  
CALL MISS DIG  
TOLL FREE  
(800) 482-7171



SCALE: 1" = 30'
SHEET 2 OF 8
DRAWN BY: JGJB
DATE: 8/29/2014
PROJECT NUMBER: E140208
Timothy L. Lapham, P.S. E. No. 27595

**HOLIDAY INN**  
**MT. PLEASANT HOTELS, LLC**  
5280 E. PICKARD / M20  
MT. PLEASANT, MI 48858

**LAPHAM ASSOCIATES**  
ENGINEERING  
PLANNING  
ENVIRONMENTAL  
SURVEYING  
515 East Fifth Street  
Clare, Michigan 48617  
Ph. (989) 386-7774  
Fx. (989) 386-7152  
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<input type="radio"/> CONSTRUCTION
<input type="radio"/> FINAL RECORD

**C2.0**



**PICKARD ROAD (M-20)**  
(120' R.O.W.)

# SITE PLAN

## ZONING INFORMATION:

ZONED: B-7 (RETAIL SERVICE HIGHWAY BUSINESS DISTRICT)  
LOCATED IN M20/PICKARD CORRIDOR  
SURROUNDING PROPERTY ZONED: B-7 & R2B (SOUTH OF PROPERTY)

**PROPOSED USE:** HOTEL & RESTAURANT  
**TO BE DETERMINED**  
**PARCEL ADDRESS:** MT. PLEASANT, MI 48858

**PARCEL ID #:** (14-146-) 00-013-00, 00-014-00, 00-015-00, 00-017-00, 00-018-00, 00-019-00, 00-020-00, 00-021-00, 00-022-00

**SETBACK REQUIREMENTS:** FRONT YARD: 15 FEET  
SIDE YARD: 10 FEET  
REAR YARD: 10 FEET

**PARKING REQUIREMENTS (PER SECTION 10.2-B):**  
HOTEL: 1 PER 2 GUEST ROOMS (130 GUEST ROOMS/2) = 65  
RESTAURANT: 1 PER 3 SEATS (172/3) = 58  
ART VAN STORE: 1 PER 500 SFT (34,000/500) = 68  
**TOTAL REQUIRED 191**

**PARKING PROPOSED:**  
RECIPROCAL AGREEMENT FOR SHARED PARKING  
HOTEL/RESTAURANT ON SITE: 127  
ART VAN ON SITE (EXISTING 62 PLUS 32 NEW PROPOSED) 94  
**TOTAL PROPOSED 221**  
(15 (8 VAN ACCESSIBLE))

**NO. BARRIER FREE SPACES PROVIDED:** 15 (8 VAN ACCESSIBLE)

**11.11 SIGNAGE ALLOTMENT - BUSINESS DISTRICT**  
A. TOTAL MAXIMUM SIGN AREA NOT TO EXCEED 200 SFT  
FREESTANDING ELEVATED SIGN - MAX SFT 100, MAX HEIGHT 16

## ZONING VARIANCE REQUESTED:

**SECTION 29: SCHEDULE OF LOT, YARD AND AREA REQUIREMENTS FOR COMMERCIAL AND INDUSTRIAL DISTRICTS**

**SIDE YARD SET BACK OF 10 FEET**  
LOCATION OF NORTHWEST CORNER OF BUILDING IS 3.25' WITHIN THE PROPOSED SET BACK

**MAX BUILDING HEIGHT OF 35 FEET**  
PROPOSING A 5 STORY BUILDING AT AN AVERAGE HEIGHT OF 60 FEET WITH ARCHITECTURAL FEATURE BEING 70 FEET

**SECTION 24.4**  
ADDITIONAL PARKING LOCATED AT NORTH END OF ART VAN IS WITHIN THE REQUIRED 20 FOOT BUFFER AREA.

"GARDEN GROVE" SUBDIVISION'S PUBLIC ALLEY MUST BE ABANDONED AND/OR VACATED

## LEGEND:

- — — — — EXISTING OVERHEAD UTILITY LINE
- — — — — 8" SAN ——— EXISTING SANITARY SEWER LINE
- — — — — 8" STM ——— EXISTING STORM SEWER LINE
- — — — — ——— EXISTING WATER LINE
- — — — — ——— PROPOSED STORM SEWER LINE
- — — — — ——— PROPOSED SANITARY SEWER LINE
- — — — — ——— PROPOSED WATER LINE
- — — — — ——— PROPOSED SCREENING FENCE
- — — — — ——— LIMITS OF CONSTRUCTION
- ⊙ WATER VALVE
- ⊙ GAS VALVE
- ⊙ HYDRANT
- ⊙ EX. STORM MANHOLE
- ⊙ EX. SANITARY SEWER MH
- ⊙ GUY WIRE
- ⊙ UTILITY POLE
- ⊙ EXISTING LIGHT POLE
- ⊙ PROPOSED LIGHT POLE
- ⊙ PROPOSED SANITARY SEWER MANHOLE
- ⊙ PROPOSED STORM CATCHBASIN
- ⊙ PROPOSED HYDRANT
- ⊙ PROPOSED WATER VALVE
- ⊙ PROPOSED HMA PAVING
- ⊙ PROPOSED GRASS/LANDSCAPING AREA (see Landscaping Plan)
- ⊙ PROPOSED CONCRETE
- ⊙ PROPOSED DECORATIVE CONCRETE (Coordinate color and pattern with architect)

## UTILITY INFORMATION:

**ELECTRIC POWER**  
Consumer Energy  
1325 Wright Avenue  
Alma, Michigan 48801  
Phone: (888) 466-4265  
Phone: (800) 482-7171 (Miss Dig)

**NATURAL GAS**  
DTE Energy  
One Energy Plaza  
Detroit, MI 48226  
Phone: (800) 477-4747

**TELEPHONE/COMMUNICATIONS**  
Verizon  
345 N. Pine Avenue  
Alma, MI 48801  
Phone: (989) 463-0459  
Phone: (800) 482-7171 (Miss Dig)

**CABLE TELEVISION**  
Charter Communications  
915 E. Broomfield  
Mt. Pleasant, MI 48858  
Phone: (989) 775-6846

**DEPARTMENT OF PUBLIC WORKS**  
Charter Township of Union  
2010 S. Lincoln Rd.  
Mt. Pleasant, MI 48858  
Phone: (989) 772-4600

**ISABELLA COUNTY DRAIN COMMISSION**  
200 N. Main Street  
Mt. Pleasant, Michigan 48858  
Phone: (989) 772-0911

**ROADS/HIGHWAY**  
MDOT  
1212 Corporate Drive  
Mt. Pleasant, MI 48858  
Phone: (888) 466-4265  
Phone: (800) 482-7171 (Miss Dig)

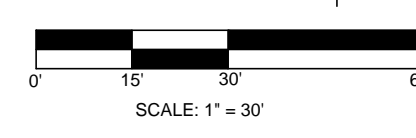
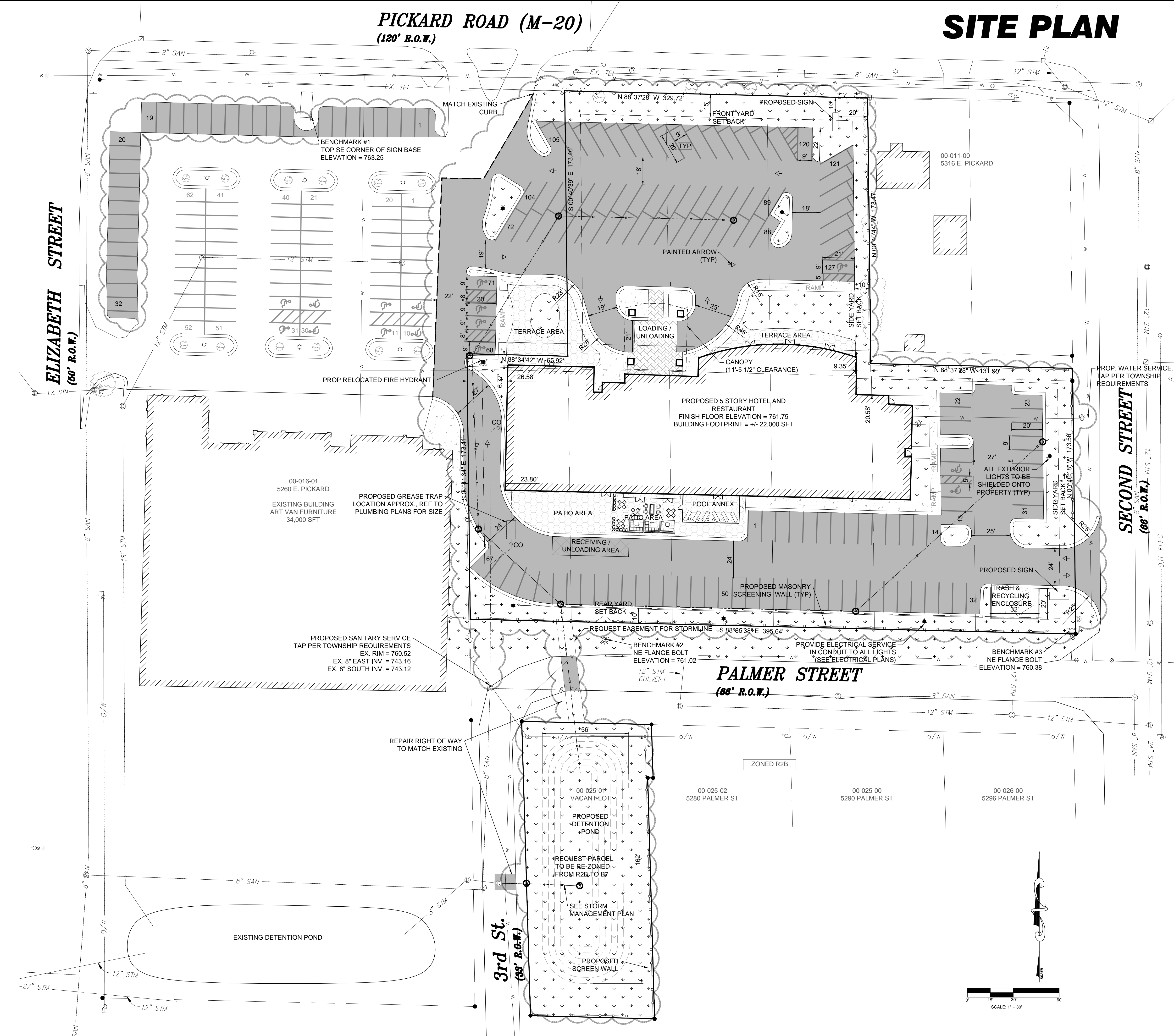
PROJECT NUMBER: E140208	DRAWN BY: JGJB	SCALE: 1" = 30'
DATE: 8/29/2014	SHEET 3 OF 8	
DRAWN BY: JGJB		
DATE: 8/29/2014		
PROJECT: Lapham P.S. E. No. 27595		

**HOLIDAY INN**  
**MT. PLEASANT HOTELS, LLC**  
5280 E. PICKARD / M20  
MT. PLEASANT, MI 48858

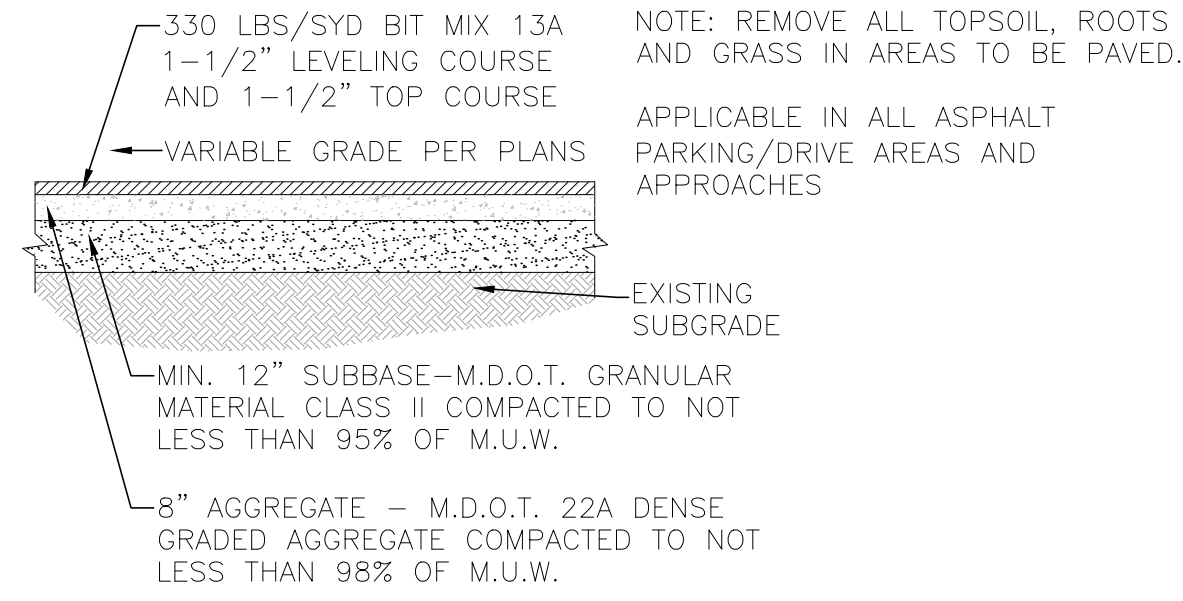
**LAPHAM ASSOCIATES SURVEYING**  
ENGINEERING  
PLANNING  
ENVIRONMENTAL  
515 East Fifth Street  
Clare, Michigan 48617  
Ph. (989) 386-7774  
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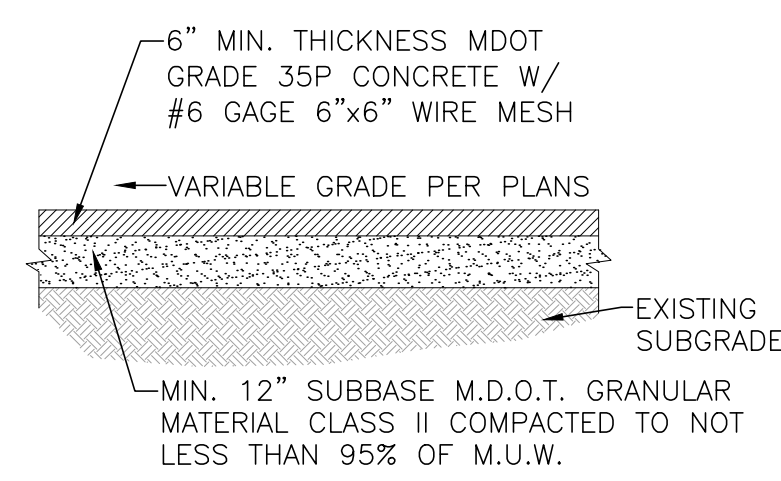
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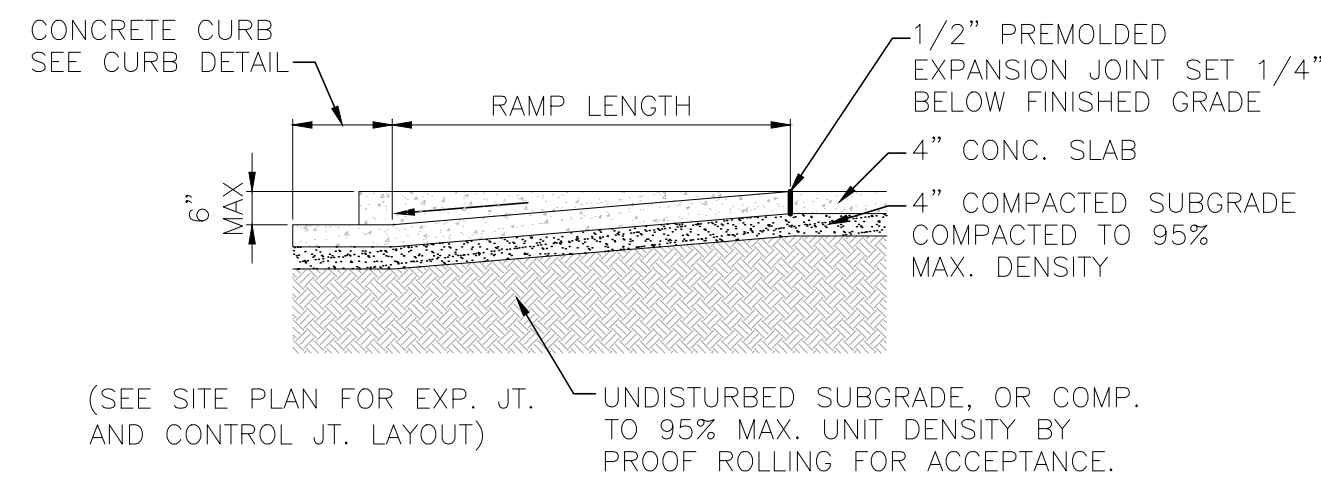
J:\ENGINEER\E140208\_Annex\Drawings\9/9/2014 1:12:38 PM\_AKCH\_full\_breed D (3x0) - 24100 Inches



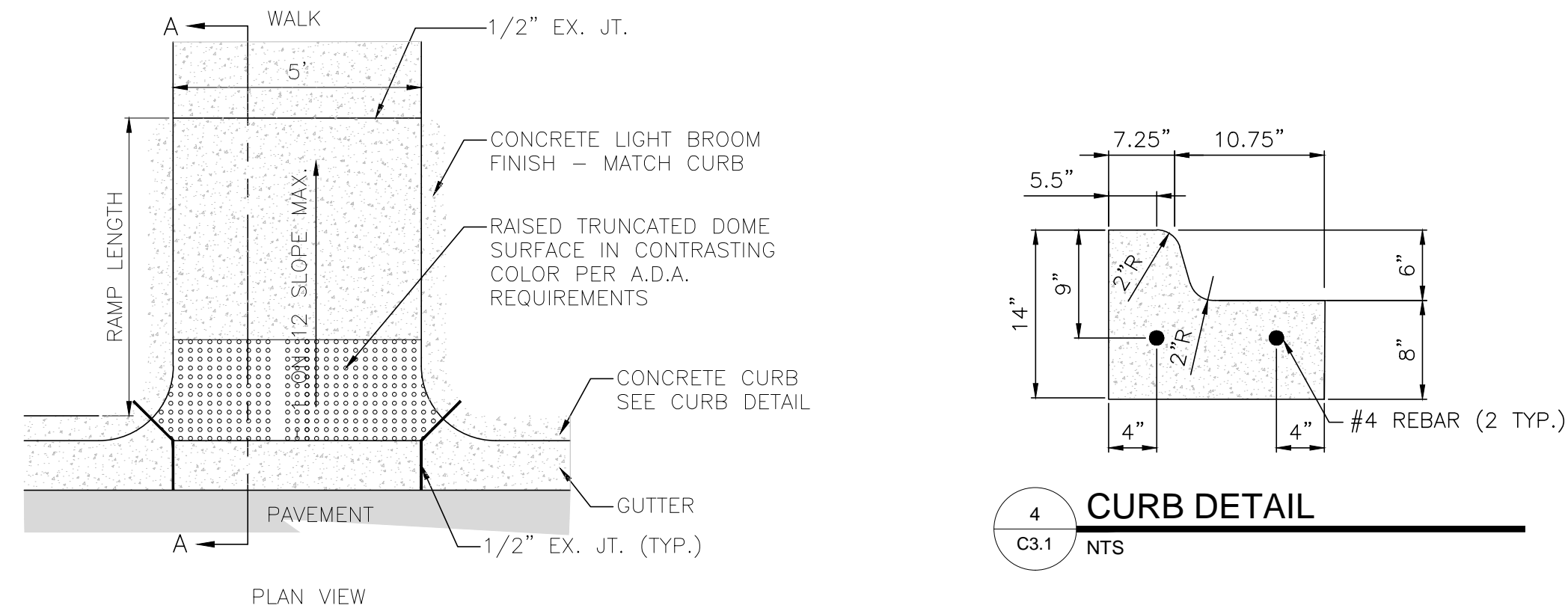
1 TYPICAL ASPHALT PAVING  
C3.1 NTS



2 TYPICAL CONCRETE PAVING  
C3.1 NTS

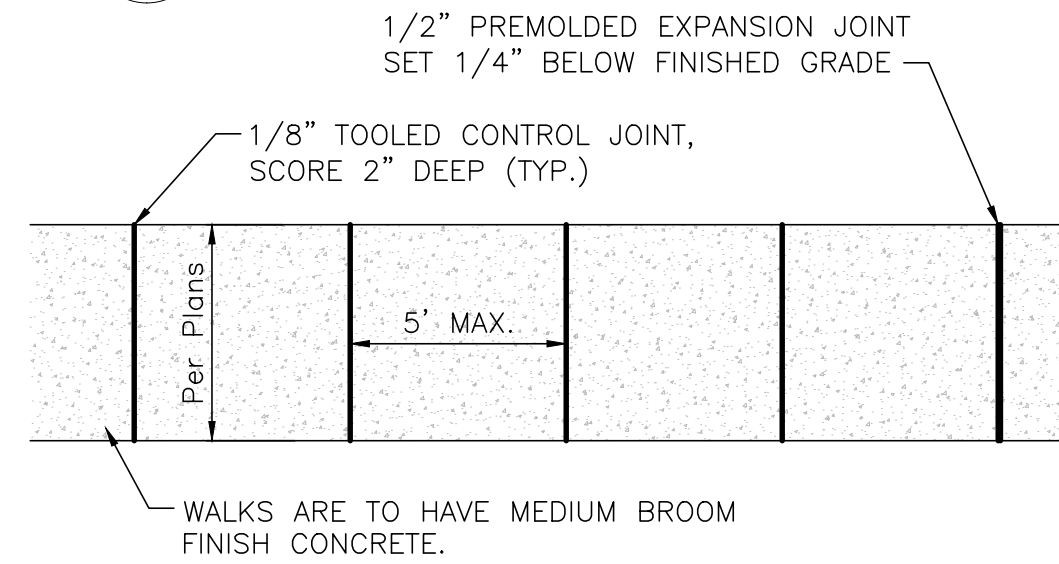


3 ADA RAMP  
C3.1 NTS

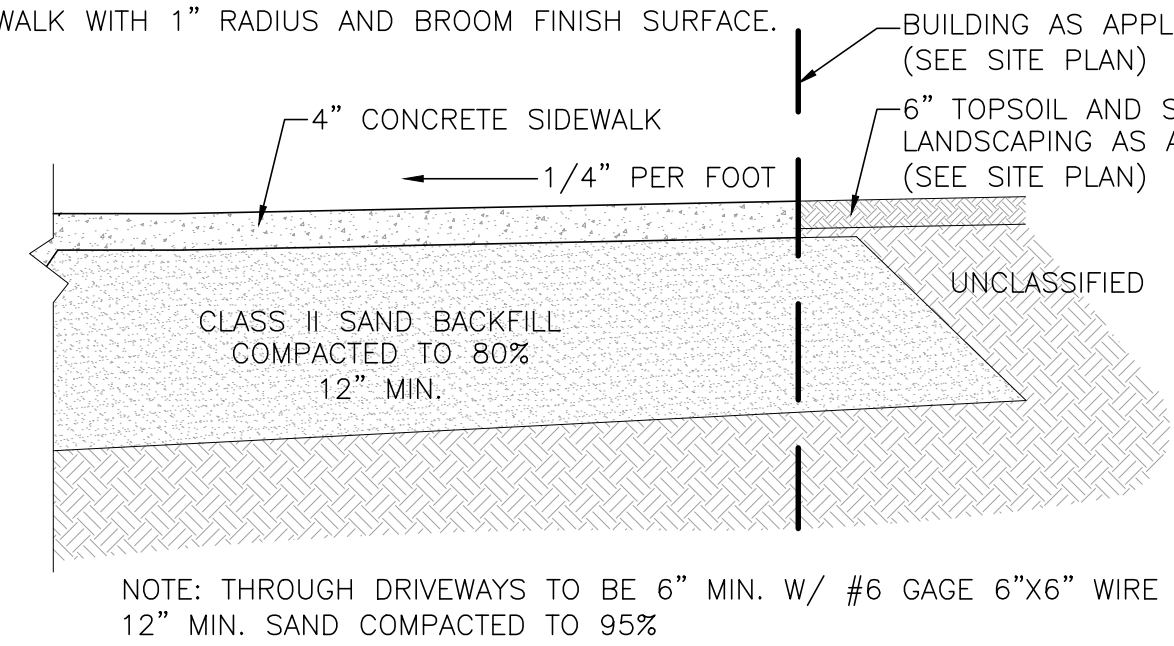


4 CURB DETAIL  
C3.1 NTS

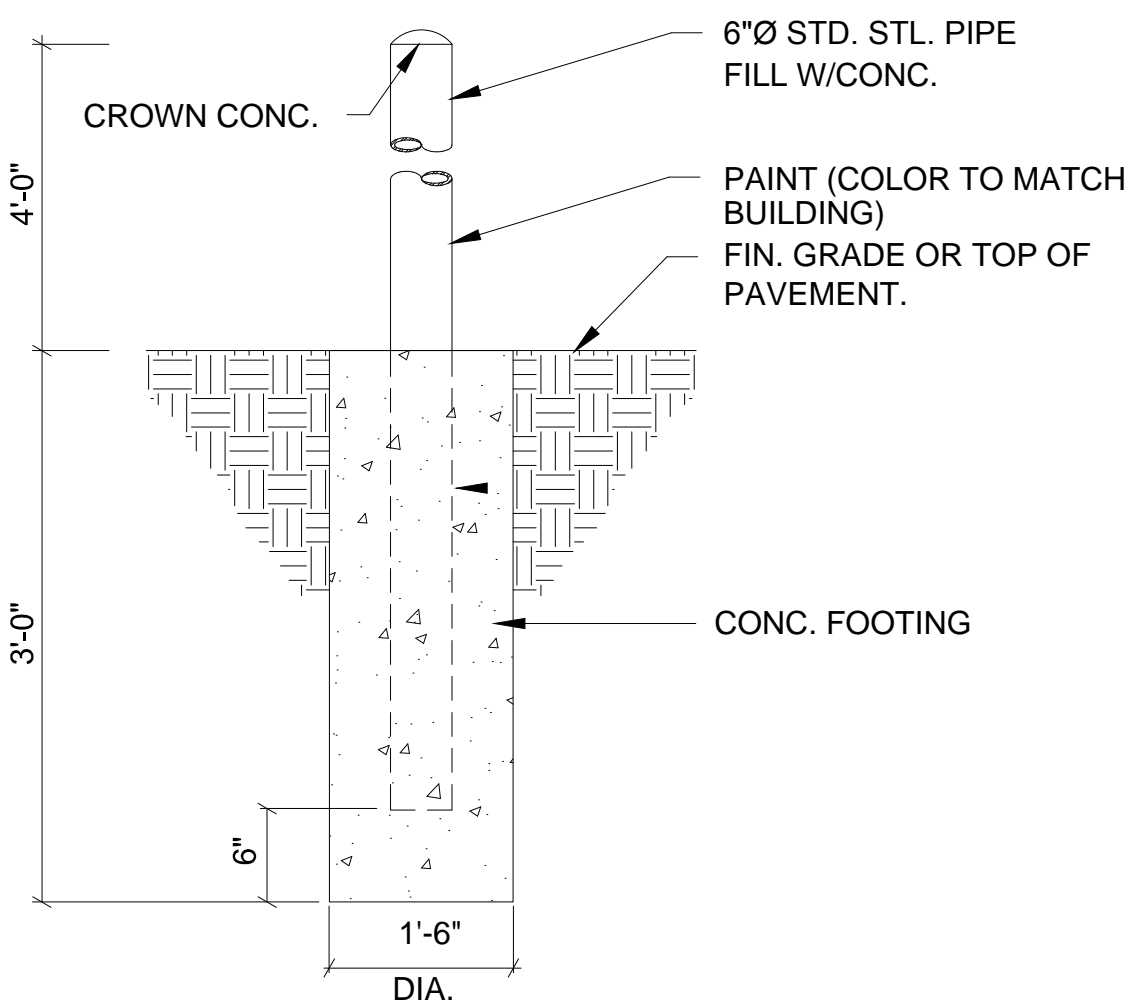
NOTE: SIDEWALK SHALL BE DIVIDED INTO UNIT AREAS OF NOT MORE THAN 30 SQUARE FEET AND NOT LESS THAN 16 SQUARE FEET, WITH CONTROL PLANE JOINT PROVIDE 100' MAX. EXPANSION JOINT SPACING. WHERE CURB DOES NOT EDGE WALK, DRAIN AWAY FROM BUILDING. EDGE SIDEWALK WITH 1" RADIUS AND BROOM FINISH SURFACE.



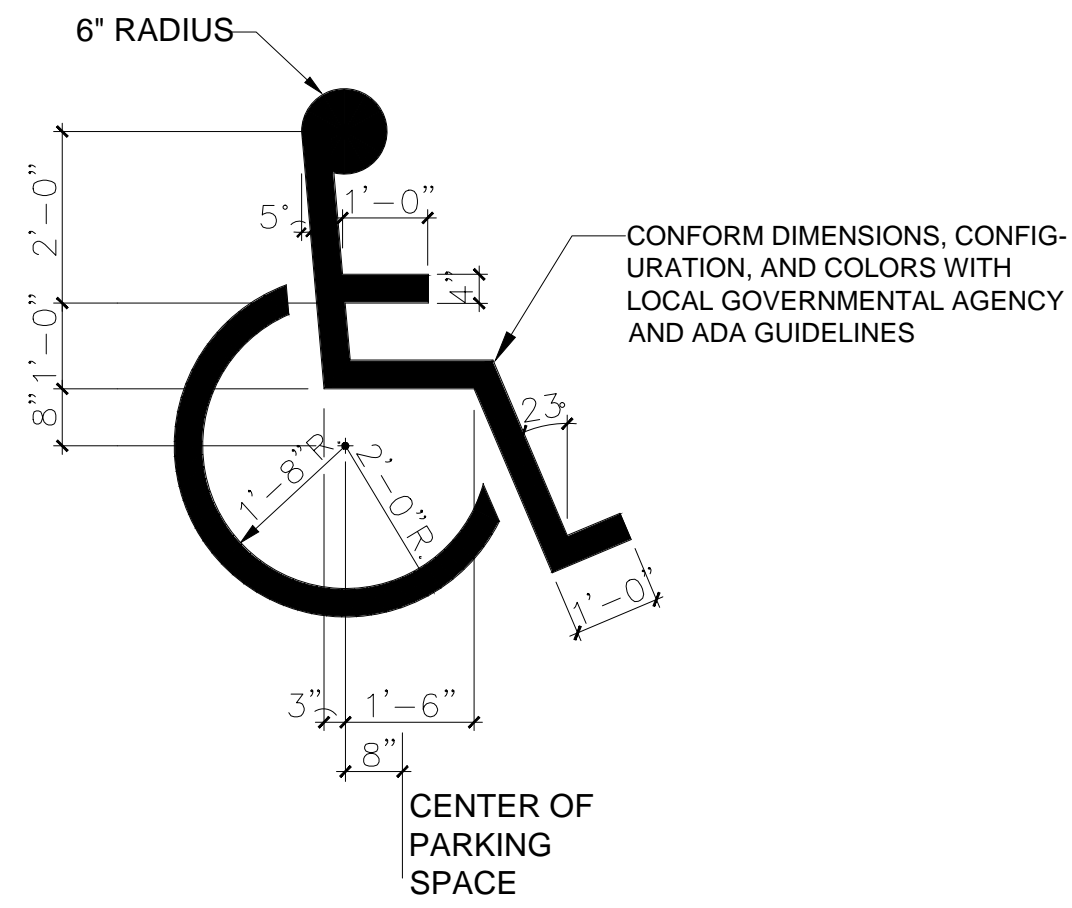
5 TYPICAL SIDEWALK  
C3.1 NTS



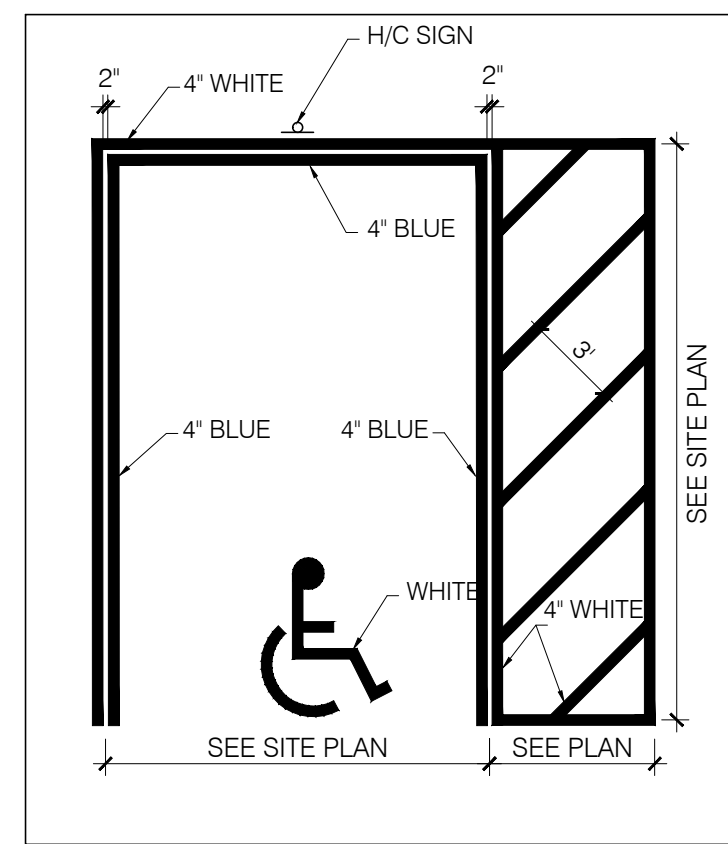
NOTE: THROUGH DRIVEWAYS TO BE 6" MIN. W/ #6 GAGE 6"x6" WIRE MESH OVER 12" MIN. SAND COMPACTED TO 95%



6 BOLLARD  
C3.1 NTS

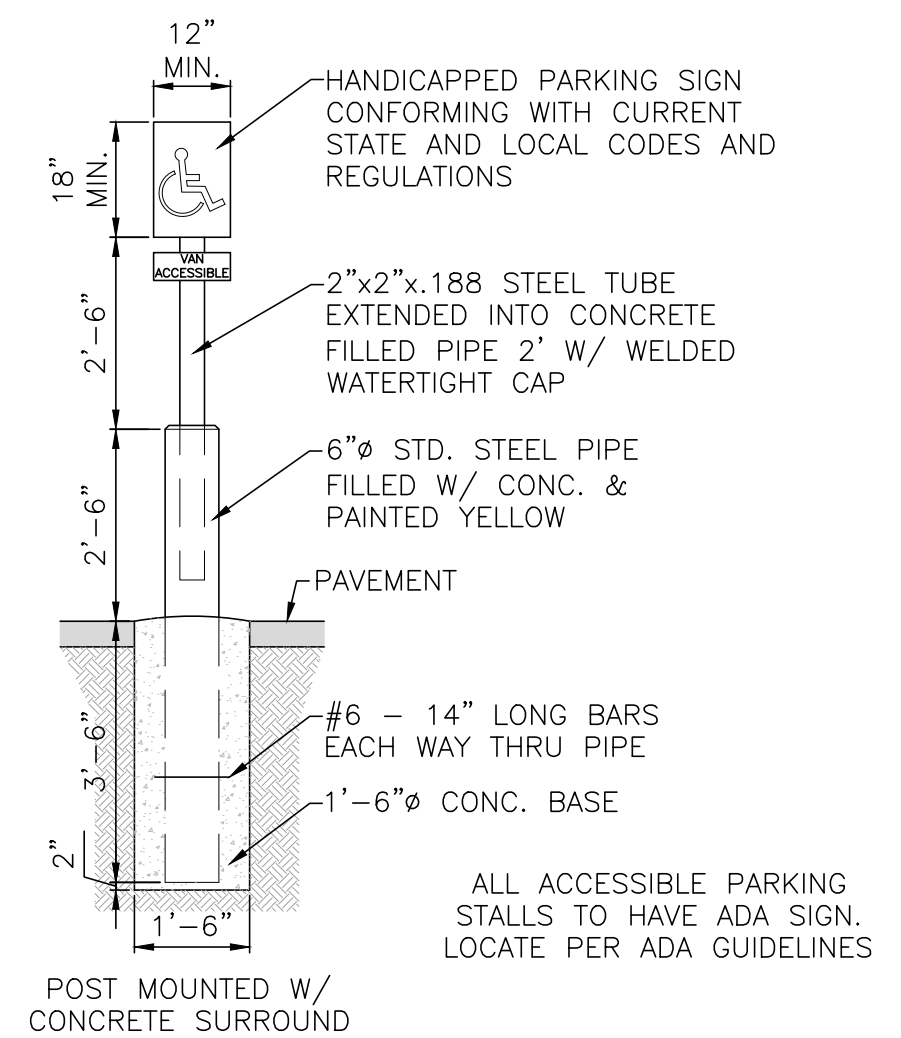


7 ADA SYMBOL  
C3.1 NTS

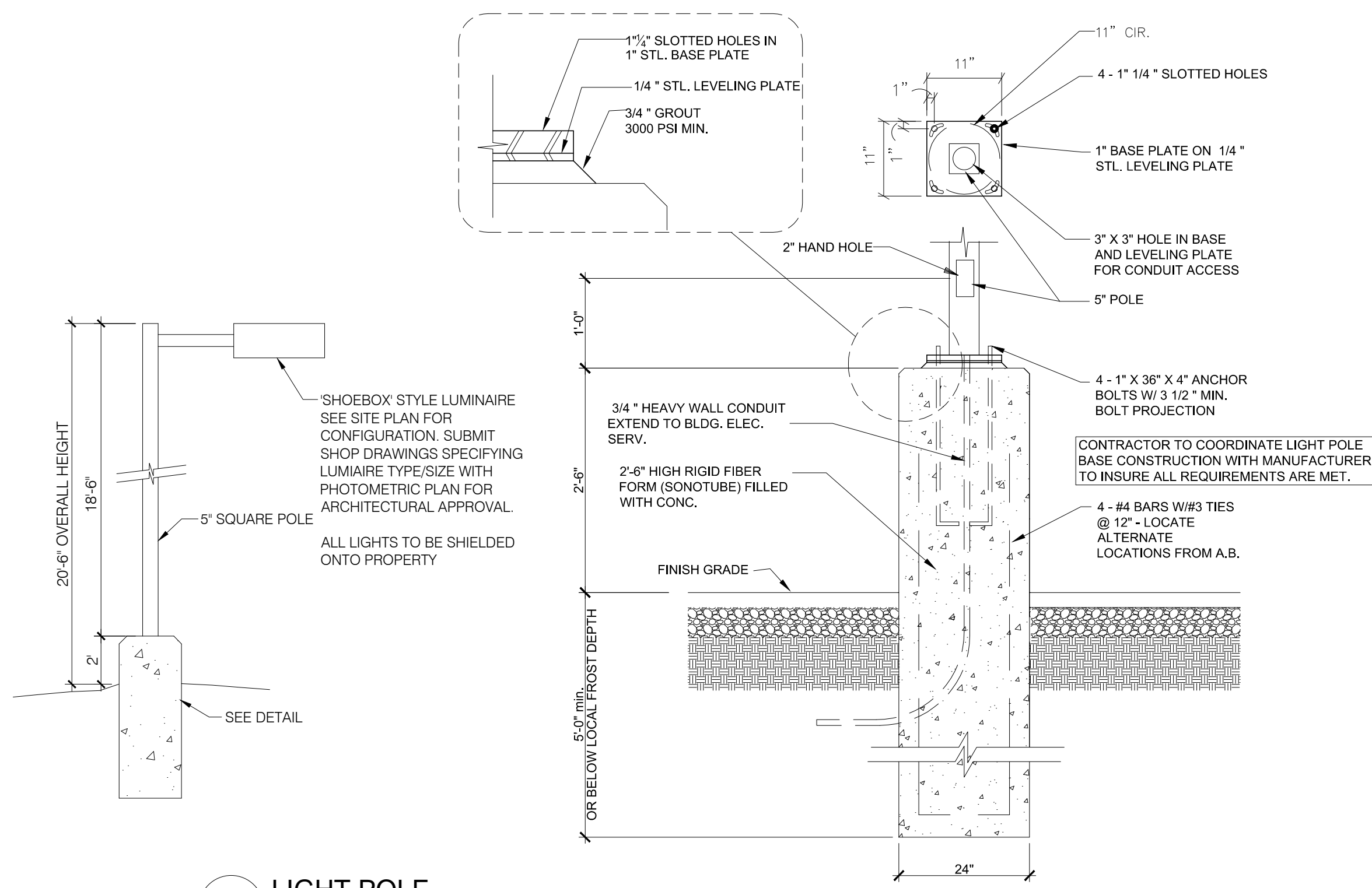


ALL PAVEMENT MARKINGS TO BE WHITE PAVEMENT PAINT, UNLESS STATED OTHERWISE.

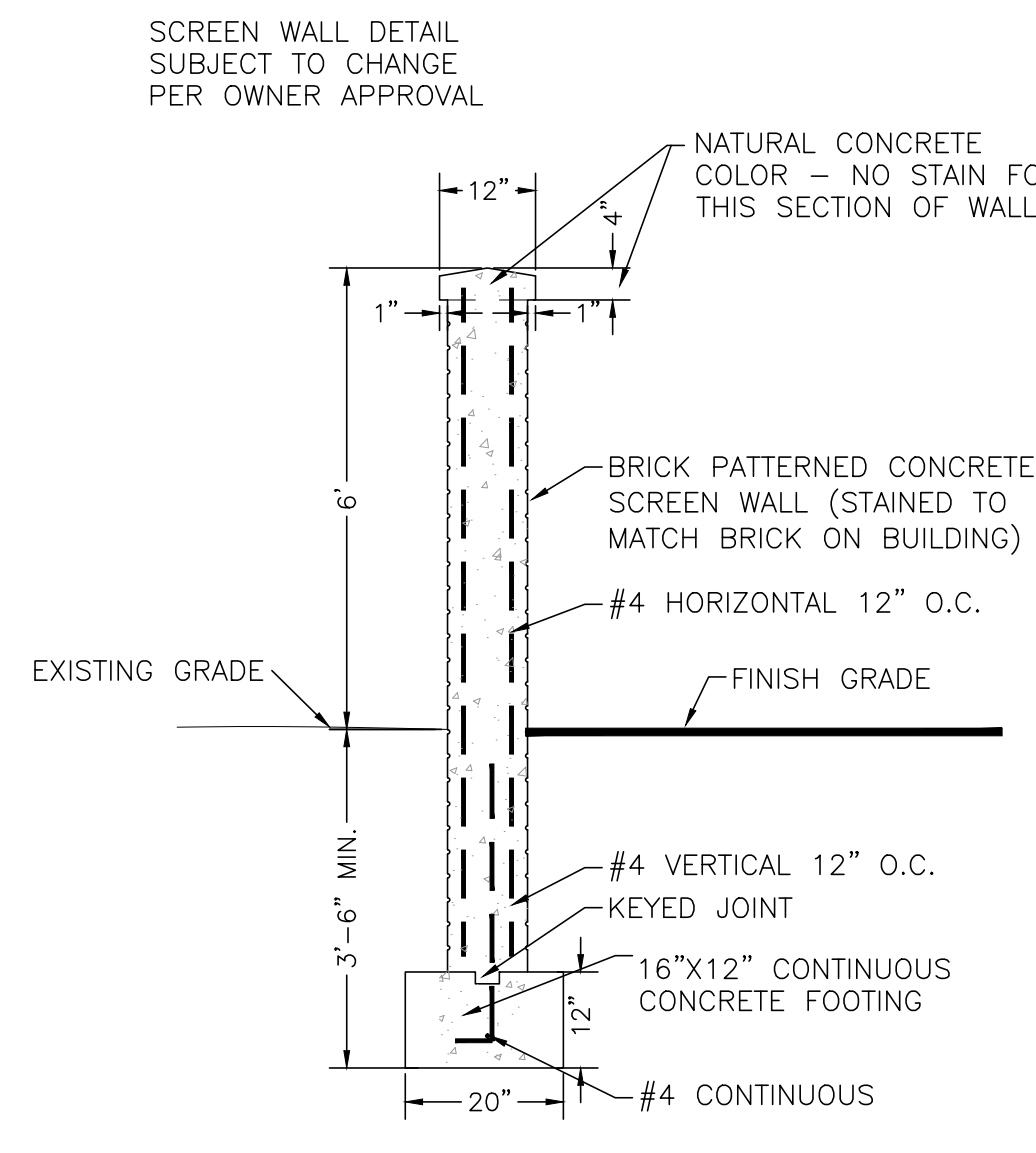
8 PAVEMENT MARKINGS  
C3.1 NTS



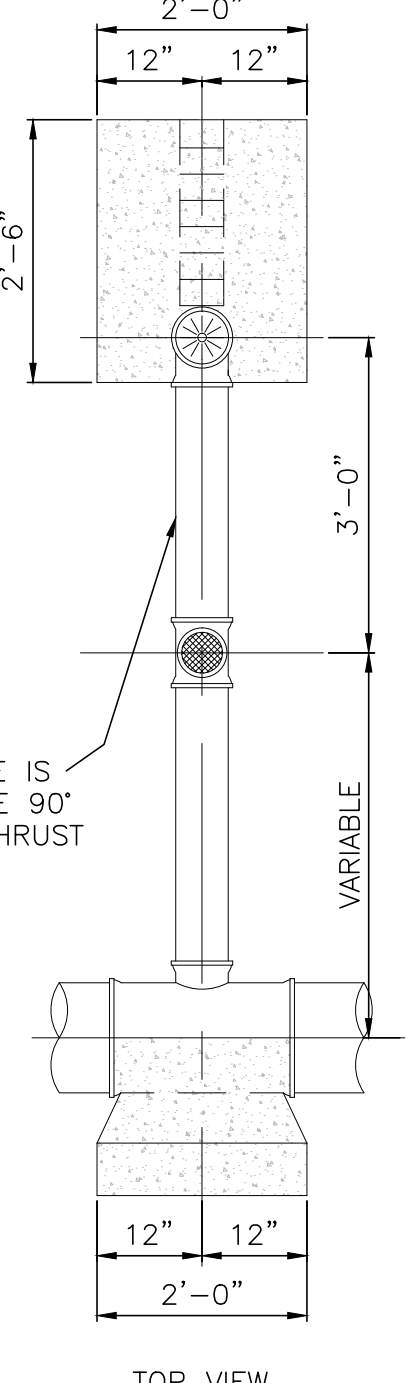
9 HANDICAP ACCESSIBLE PARKING SIGN  
C3.1 NTS



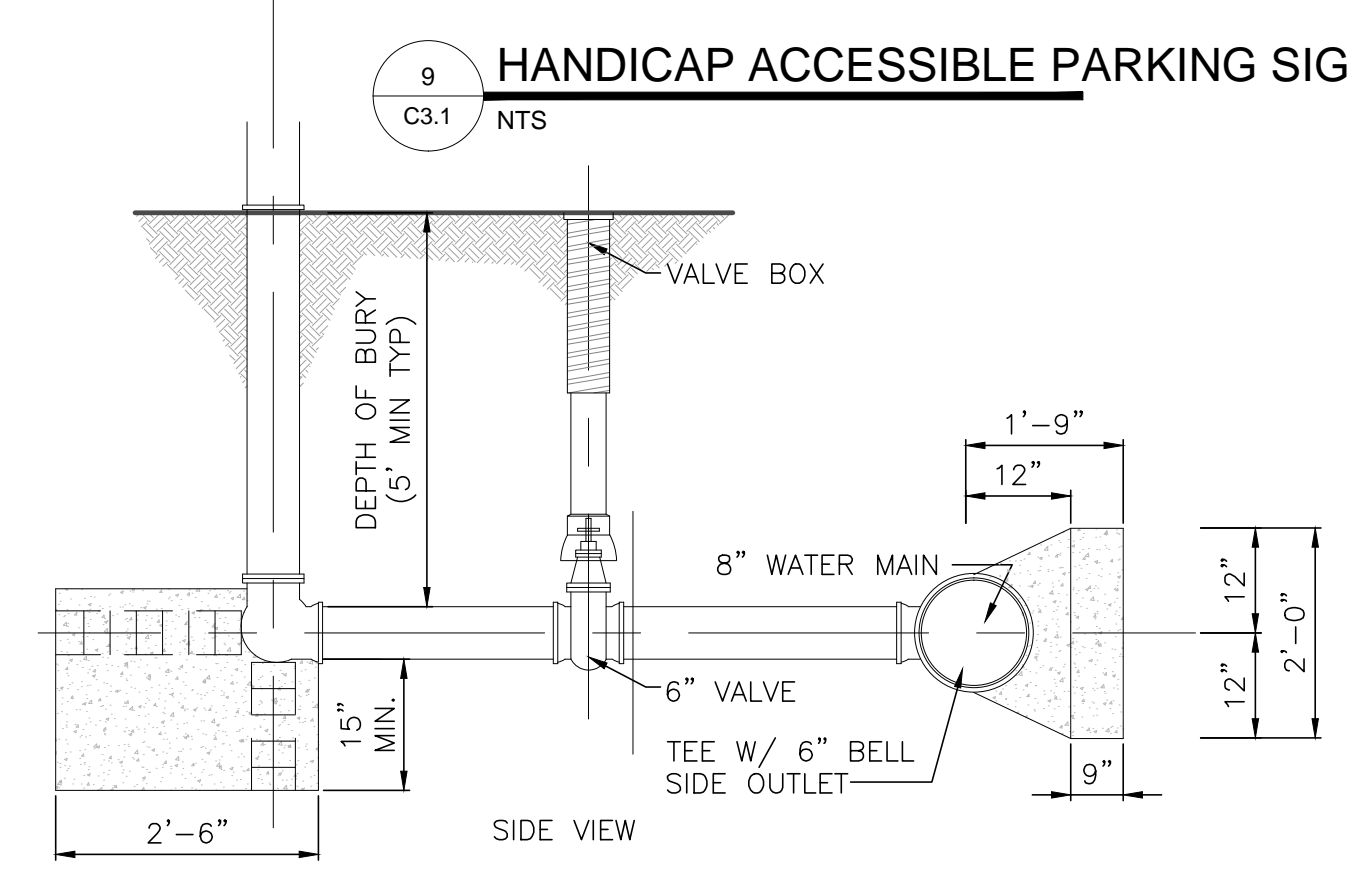
10 LIGHT POLE  
C3.1 NTS



11 SCREEN WALL  
C3.1 NTS



12 FIRE HYDRANT SETTING  
C3.1 NTS



- GENERAL HYDRANT NOTES:
- INSTALL ADDITIONAL FITTINGS & SPIGOT PIPE AS NECESSARY BETWEEN WATER MAIN AND VALVE BOX TO ADJUST FOR PROPER LOCATION AND GRADE OF HYDRANT.
  - VERTICAL ANCHORS WILL BE REQUIRED ON ALL VERTICAL HYDRANT BENDS IN EXCESS OF 11-1/4".
  - WHERE HYDRANTS ARE INSTALLED ON EXISTING MAINS THAT ARE TO BE PLACED BACK INTO SERVICE IMMEDIATELY, PLACE CONCRETE BLOCK OR BRICK TO UNDISTURBED SOIL AND ENCASE WITH CONCRETE.
  - ALL CONCRETE TO BE 3500 P.S.I. CONCRETE POURED AGAINST UNDISTURBED SOIL.

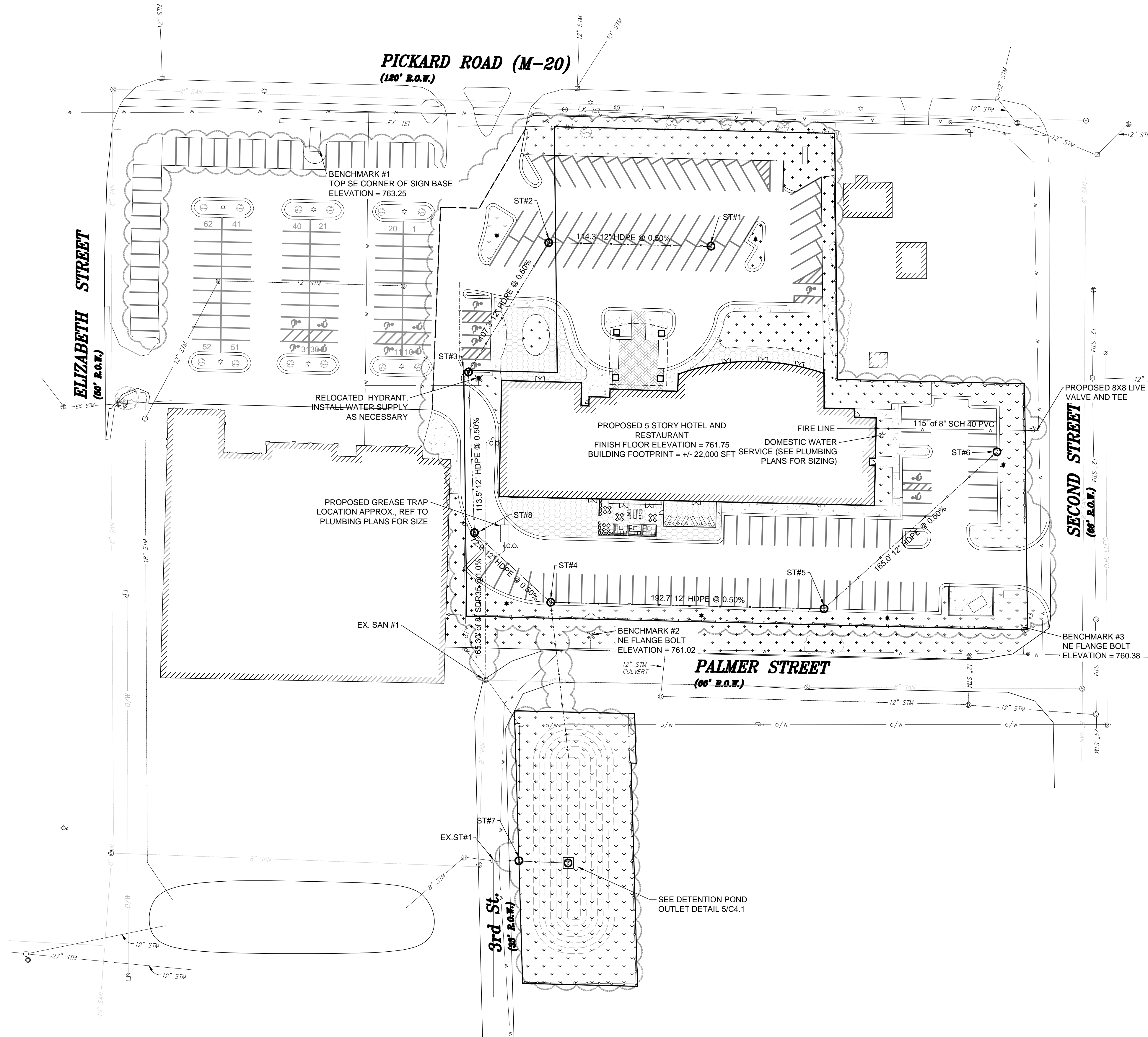
SCALE:	SHEET 1 OF 8
DRAWN BY: JGJB	DATE: 8/29/2014
PROJECT NUMBER: E140208	Timothy L. Lapham, P.S. P.E. No. 27595

**HOLIDAY INN**  
**MT. PLEASANT HOTELS, LLC**  
5280 E. PICKARD / M20  
MT. PLEASANT, MI 48858

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# UTILITY PLAN



### EXISTING STORM:

EX. ST#1  
4' DIA. PRECAST CONC. STRUCT. W/  
E.J.I.W. COVER - SOLID  
RIM = 759.86  
E. 12" INV. = 752.47 (REMOVE/ABANDON)  
S. 12" INV. = 752.37  
W. 12" INV. = 752.47  
PROP. E. 12" INV. = 752.47  
SUMP = 750.49

### PROPOSED STORM:

ST#1  
2' DIA. PRECAST CONC. STRUCT. W/  
E.J.I.W. COVER # 1040 TYPE M1 GRATE  
RIM = 759.30  
W. 12" INV. = 754.97  
SUMP = 752.91

ST#2  
2' DIA. PRECAST CONC. STRUCT. W/  
E.J.I.W. COVER # 1040 TYPE M1 GRATE  
RIM = 759.33  
S.W.E. 12" INV. = 754.97  
SUMP = 752.97

ST#3  
2' DIA. PRECAST CONC. STRUCT. W/  
E.J.I.W. COVER # V-4066 CURB AND GUTTER INLET  
RIM = 759.25  
N.E. S. 12" INV. = 754.43  
SUMP = 752.43

ST#4  
2' DIA. PRECAST CONC. STRUCT. W/  
E.J.I.W. COVER # V-4066 CURB AND GUTTER INLET  
RIM = 758.81  
N.W. S. 12" INV. = 753.55  
E. 12" INV. = 753.80  
SUMP = 751.55

ST#5  
2' DIA. PRECAST CONC. STRUCT. W/  
E.J.I.W. COVER V-4066 CURB AND GUTTER INLET  
RIM = 760.45  
W. N.E. 12" INV. = 754.76  
SUMP = 752.76

ST#6  
2' DIA. PRECAST CONC. STRUCT. W/  
E.J.I.W. COVER V-4066 CURB AND GUTTER INLET  
RIM = 759.72  
S.W. 12" INV. = 755.59  
SUMP = 753.59

ST#7  
2' DIA. PRECAST CONC. STRUCT. W/  
E.J.I.W. COVER: 1040 BEEHIVE  
RIM = 758.67  
W. 12" INV. = 752.50  
E. 8" INV. = 752.50  
SUMP = 751.50

ST#8  
2' DIA. PRECAST CONC. STRUCT. W/  
E.J.I.W. COVER V-4066 CURB AND GUTTER INLET  
RIM = 759.12  
S.W. N. 12" INV. = 753.86  
SUMP = 751.86

### EXISTING SANITARY:

EX. SAN#1  
4' DIA. PRECAST CONC. STRUCT. W/  
E.J.I.W. COVER - SOLID  
RIM = 760.52  
E. 8" INV. = 743.16  
S. 8" INV. = 743.12  
PROP. N. 8" INV. = 750.00± & 743.16 (DROP INLET)  
SUMP = NONE

### UTILITY NOTES:

PLANS ARE SUBJECT TO REVIEW AND APPROVAL BY UNION TOWNSHIP DPW. NO CONSTRUCTION SHALL BEGIN WITHOUT APPROVAL.

HDPE WATER SERVICE REQUIRES THAT A 18 GA. INSULATED COPPER TRACER WIRE BE BURIED DIRECTLY ABOVE THE ENTIRE LENGTH OF THE SERVICE LINE. SUFFICIENT SLACK SHALL BE LEFT TO RUN THE TRACER WIRE TO THE SURFACE NEAR THE BUILDING FOR CONNECTION.

ALL TRENCH EXCAVATION AND BACKFILL SHALL BE IN ACCORDANCE WITH LOCAL JURISDICTION.

THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY AND ALL DAMAGE TO EXISTING STRUCTURES AND/OR UTILITIES DURING CONSTRUCTION. PROPER REPAIR SHALL BE DONE TO THE SATISFACTION OF THE APPROPRIATE UTILITY COMPANY.

THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES 72 HOURS PRIOR TO ANY EXCAVATION SO THAT SERVICE LINES CAN BE MARKED.

THE CONTRACTOR SHALL COORDINATE THE WORK TO AVOID CONFLICTS BETWEEN SEWERS, STORM DRAINS, AND WATER MAINS. TEMPORARY REPAIRS TO ALL TRENCHES WITHIN THE TRAVELED WAY, ON EXISTING ROADS, SHALL BE MADE WITHIN TWENTY-FOUR (24) HOURS OF THE TRENCH OPENING. MINIMUM TEMPORARY REPAIRS SHALL CONSIST OF BACKFILLING AND COMPACTING 6" OF AGGREGATE BASE AND 1" OF TEMPORARY ASPHALTIC SURFACE.

EXISTING UNDERGROUND FACILITIES, AS SHOWN, ARE APPROXIMATE ONLY AND WERE OBTAINED FROM AVAILABLE UTILITY RECORDS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY OR COMPLETENESS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT ALL LOCAL UTILITIES AND TO HAVE ALL FACILITIES LOCATED AND EXPOSED TO VERIFY THE CLEARANCE OF NEW PIPE LINE CROSSINGS BEFORE CONSTRUCTION OF NEW PIPE LINES COMMENCES.

ANY RELOCATION OF PUBLIC UTILITIES SHALL BE DONE IN ACCORDANCE WITH ANY AND ALL REQUIREMENTS OF THE UTILITY COMPANY AND WITH REGARD TO THE REQUIRED FEES, BONDS, PERMITS, WORKING CONDITIONS, ETC. OF SAID COMPANY.

ABANDONED UNDERGROUND STRUCTURES ENCOUNTERED SHALL BE REMOVED TO SUFFICIENT DEPTH TO ALLOW UNDERGROUND LINES TO CROSS.

PRIOR TO FINAL PREPARATION OF THE SUBGRADE AND PLACEMENT OF BASE MATERIAL, ALL UNDERGROUND UTILITY MAINS SHALL BE INSTALLED AND SERVICE CONNECTIONS STUBBED OUT BEYOND THE CURB LINE. SERVICES FROM PUBLIC UTILITIES AND SANITARY SEWERS SHALL BE MADE IN A MANNER THAT WILL MINIMIZE THE DISTURBANCE OF THE ADJACENT STREET. ALL CONDUITS SHALL BE SCHEDULE 40 AND BURIED AT A MINIMUM DEPTH OF 3 FEET.

SOIL EROSION CONTROL  
THE CONTRACTOR SHALL OBTAIN A SOIL EROSION CONTROL PERMIT, INCLUDING THE PAYMENT OF FEES AND THE PROVIDING OF NECESSARY BONDS. NO EARTH CHANGES OF EXCAVATION SHALL BE STARTED PRIOR TO THE ISSUANCE OF THIS PERMIT.

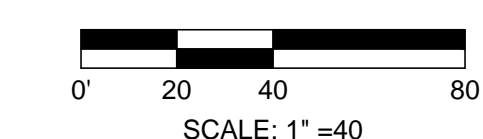
THE CONTRACTOR SHALL PROTECT ALL EXISTING AND PROPOSED SEWER FACILITIES ON OR ADJACENT TO THE SITE DURING EXCAVATION AND CONSTRUCTION. ALL SEDIMENT SHALL BE CONTAINED ON SITE. ANY SILT IN COUNTY DRAINS, STORM SEWER, CULVERTS, ETC. AS A RESULT OF THIS PROJECT SHALL BE REMOVED BY THE CONTRACTOR.

FLOOD PLAIN OR WETLAND CONSTRUCTION  
THE PROJECT SITE IS NOT LOCATED WITHIN ANY FLOOD PLAIN OR FLOODWAY.

NPDES STORM WATER DISCHARGE PERMIT IS NOT REQUIRED FOR THIS PROJECT.

TOWNSHIP SEWER & WATER PERMIT  
PRIOR TO CONSTRUCTION CONTRACTOR SHALL OBTAIN SEWER AND WATER SERVICE PERMITS AND PAY FEES.

COORDINATE SERVICE LINE LOCATION FOR GAS, ELECTRIC, CABLE TV, ETC. WITH PROVIDER.



72 HOURS  
BEFORE YOU DIG  
CALL MISS DIG  
TOLL FREE  
(800) 482-7171

SCALE: 1"=40'
SHEET 5 OF 8
DRAWN BY: JG/JUB
DATE: 8/29/2014
PROJECT NUMBER: E140208
Timothy L. Lapham, P.S. P.E. No. 27595

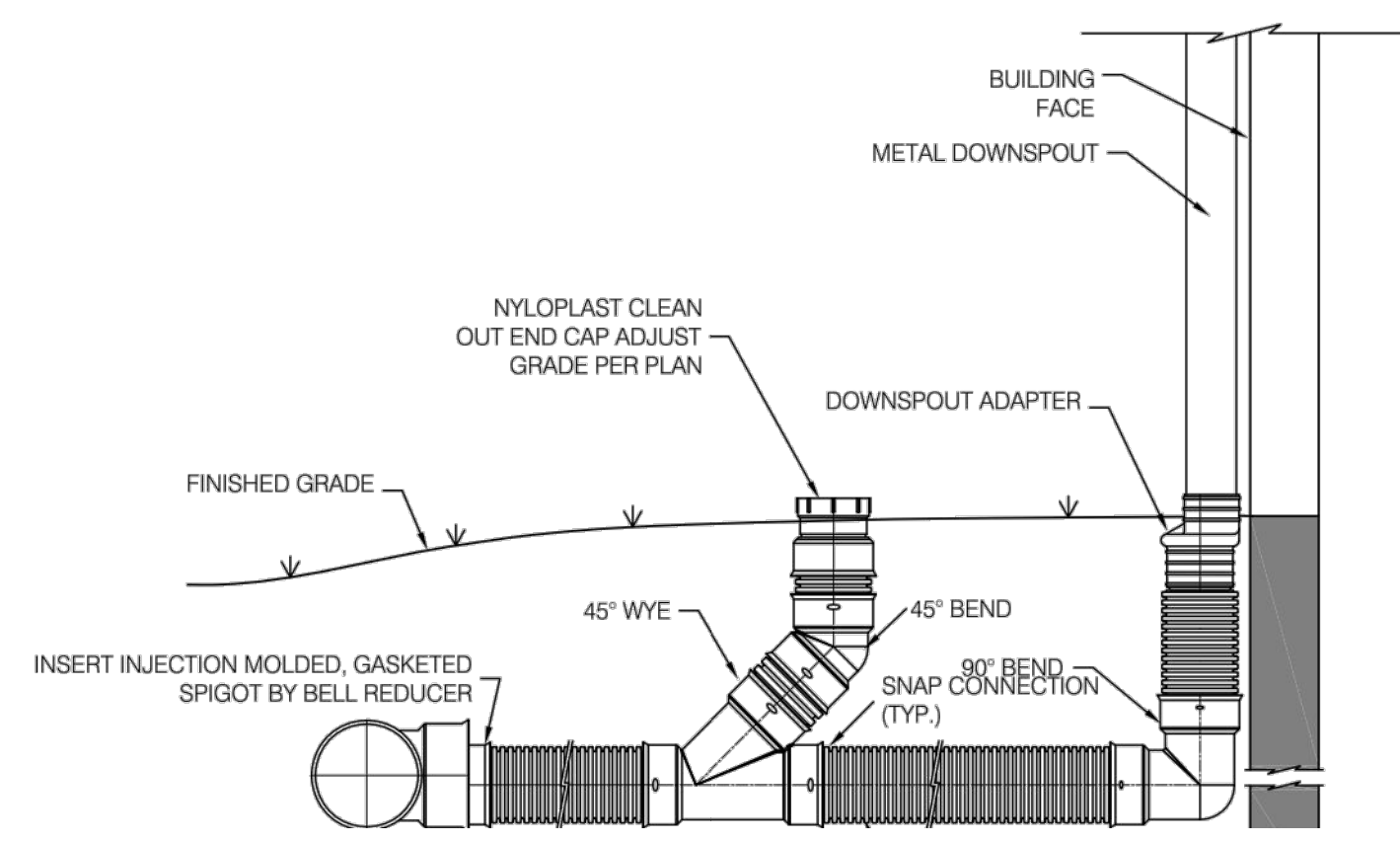
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MT. PLEASANT, MI 48858

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**C4.0**

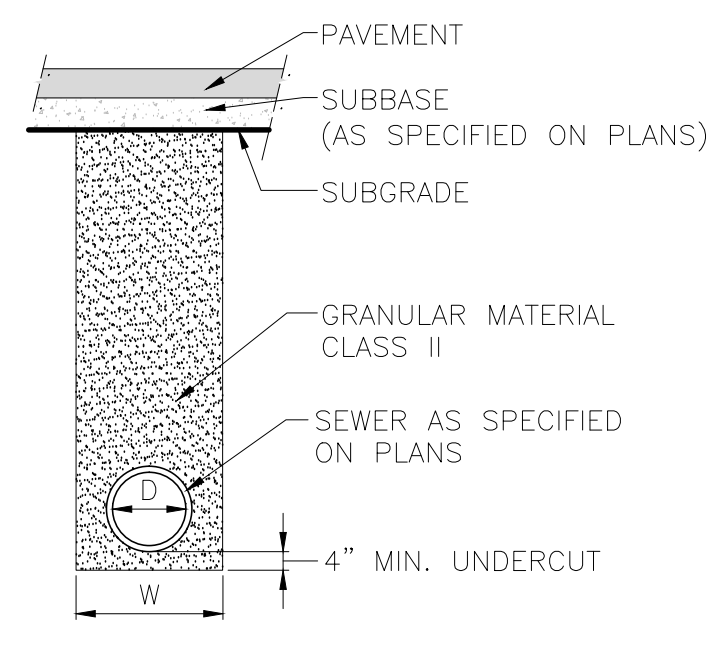
J:\ENGINEERING\2008 Amenidge Group, Hotel Stepianski.dwg, 9/9/2014 1:12:54 PM, AKCH full bleed D (24.00 x 36.00 inches)



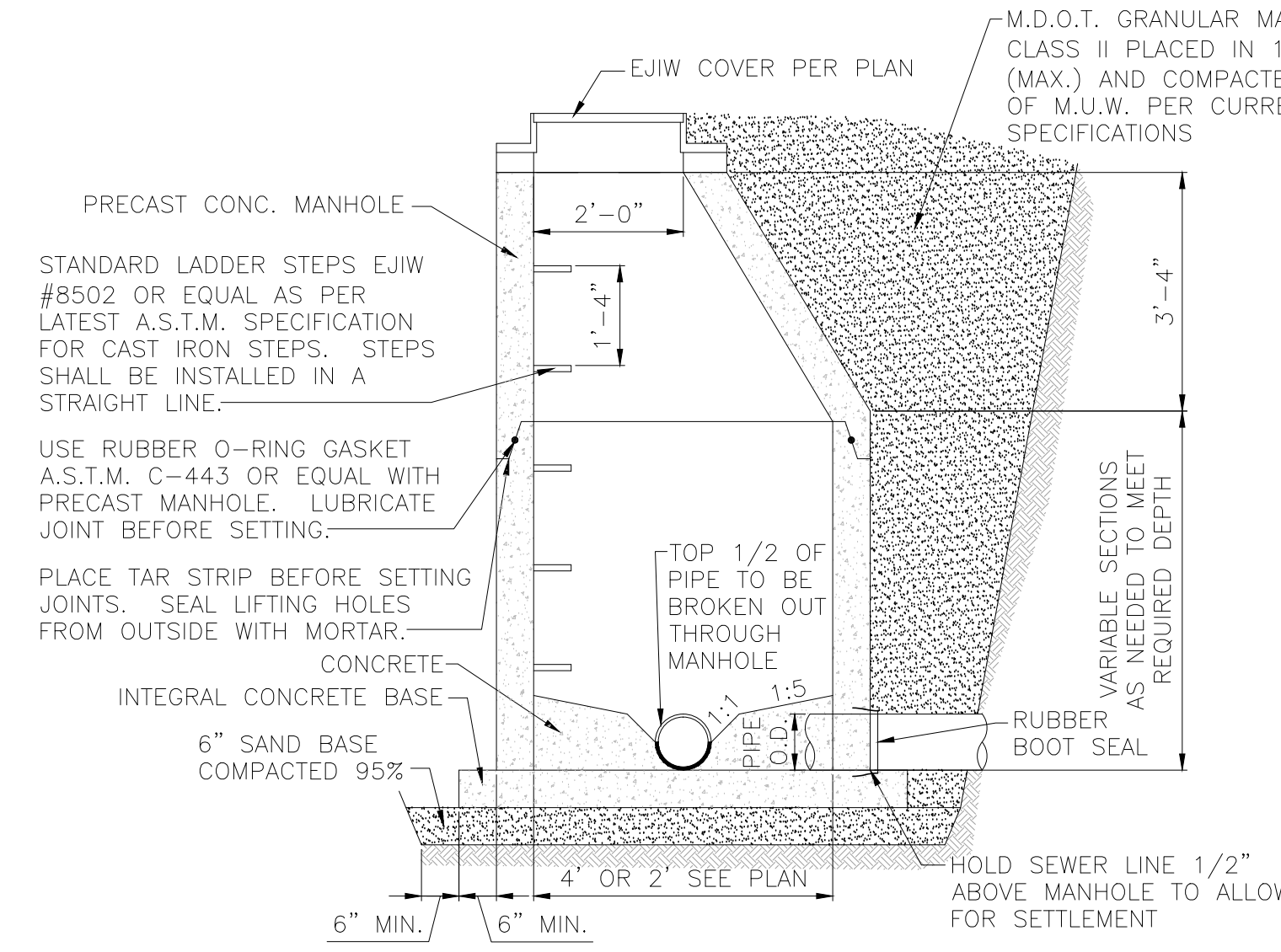
**1 ROOF DRAIN CONNECTION CONCEPT**  
C4.1 NTS

MINIMUM TRENCH WIDTHS

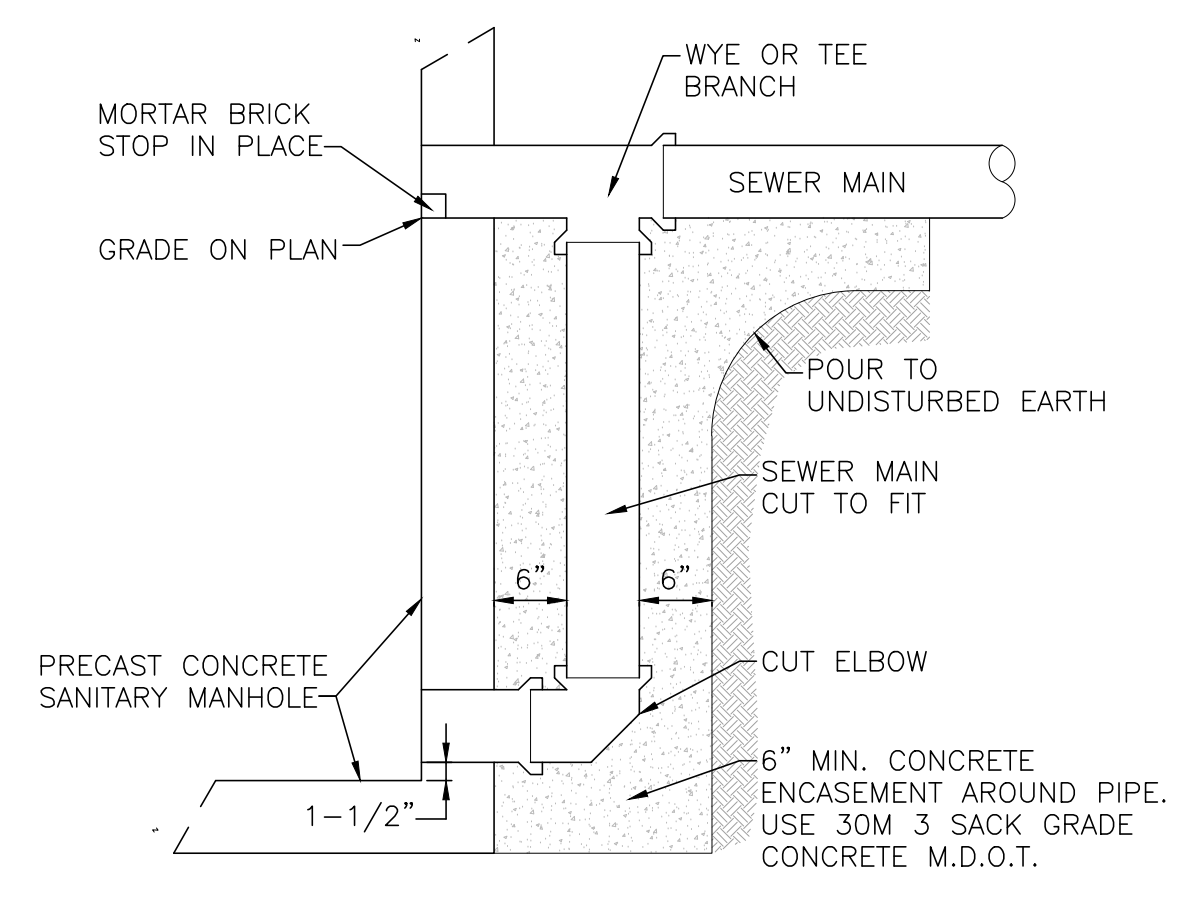
I.D. PIPE SIZE (INCHES)	LESS THAN 18	21	24	30	36
"W" TRENCH WIDTH (FEET)	3.0	3.5	4.0	5.0	6.0



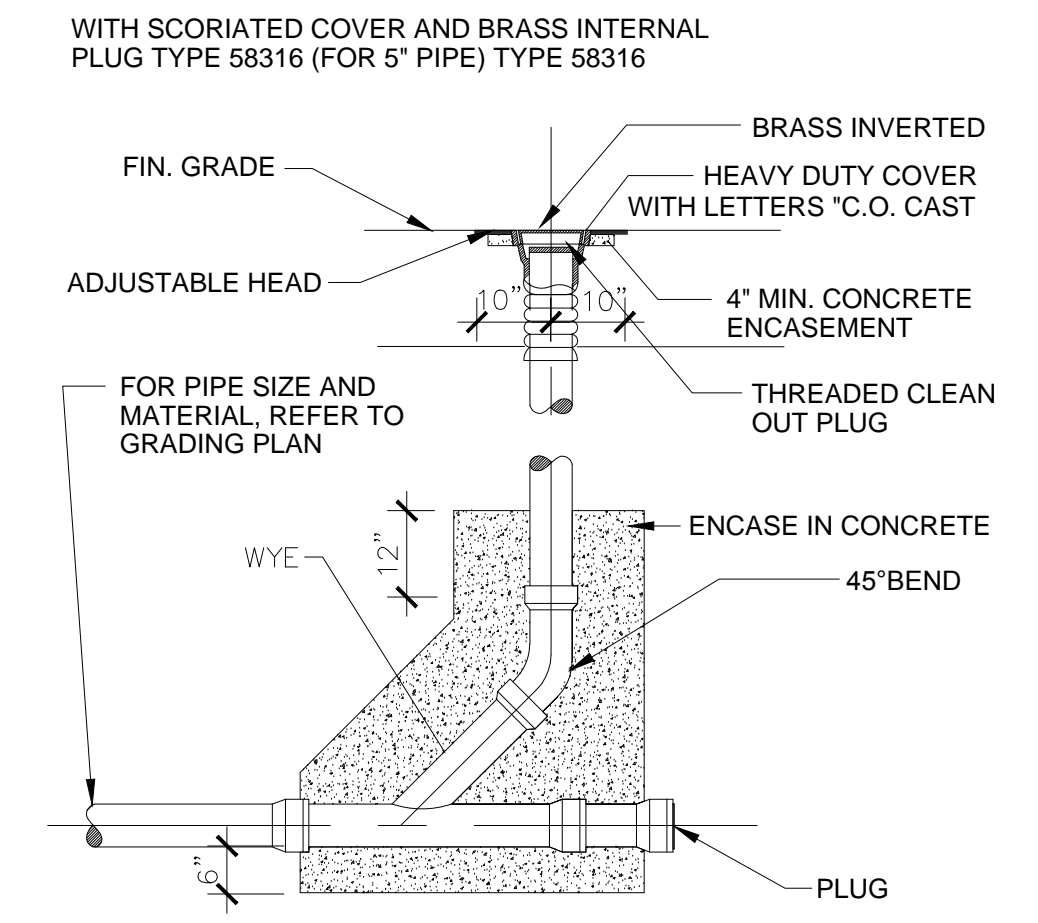
**2 SEWER LINE**  
C4.1 NTS



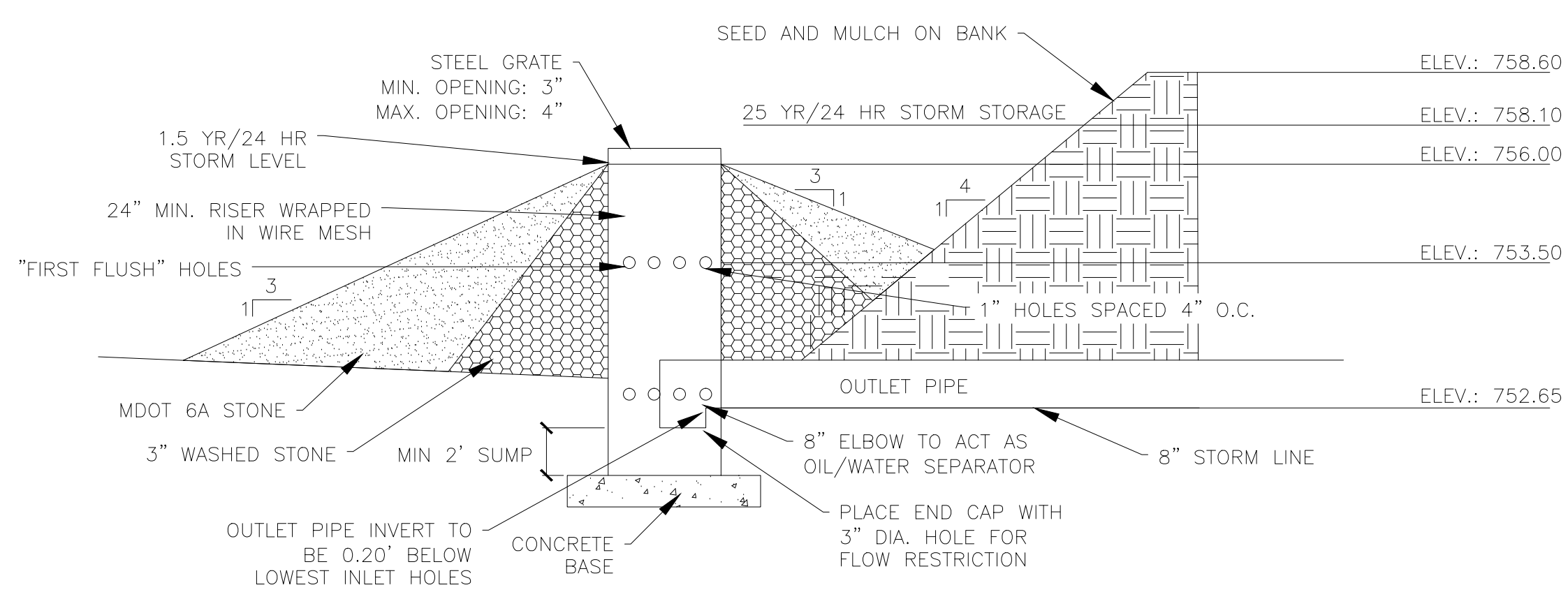
**3 TYPICAL SANITARY MANHOLE**  
C4.1 NTS



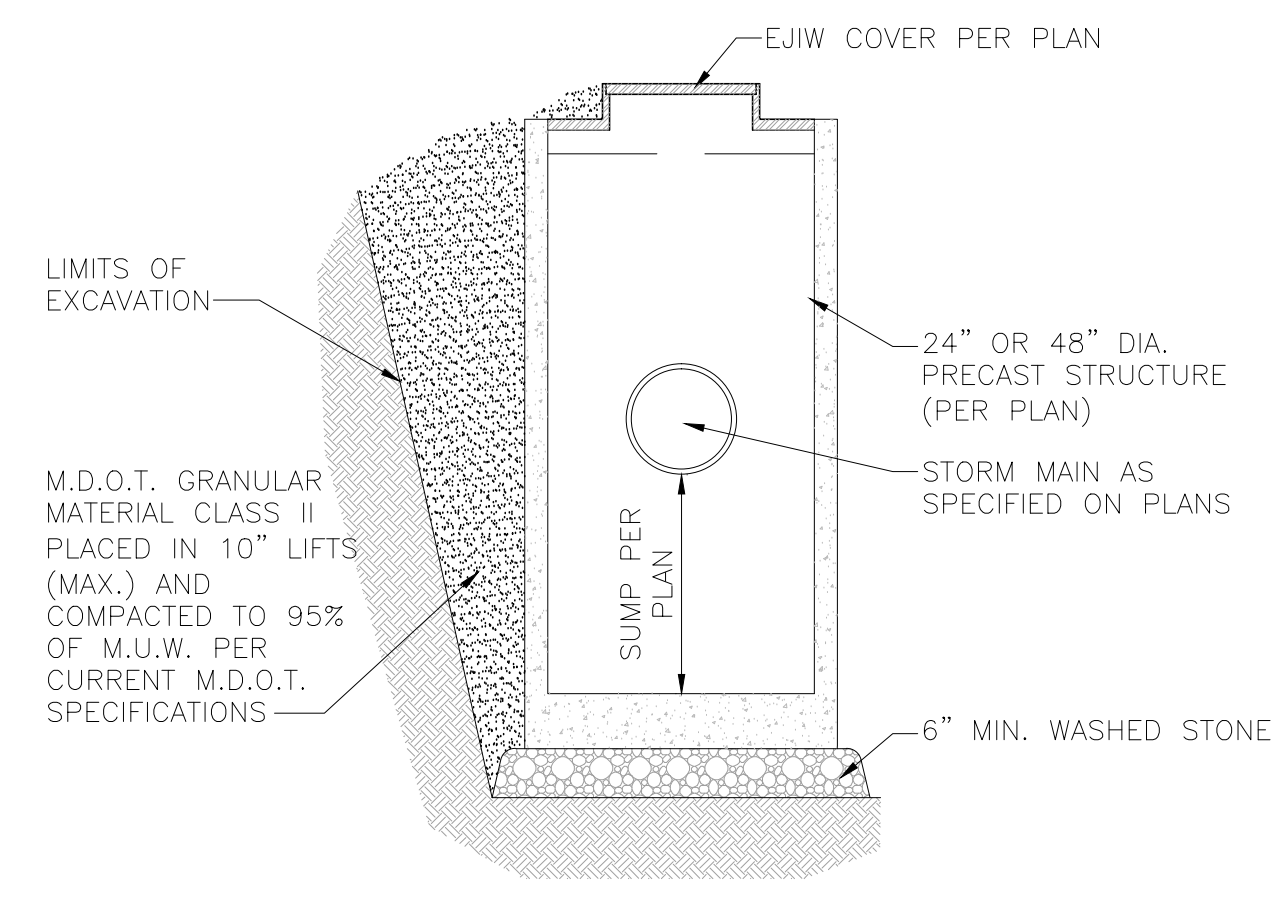
**3A DROP INLET DETAIL**  
C4.1 NTS



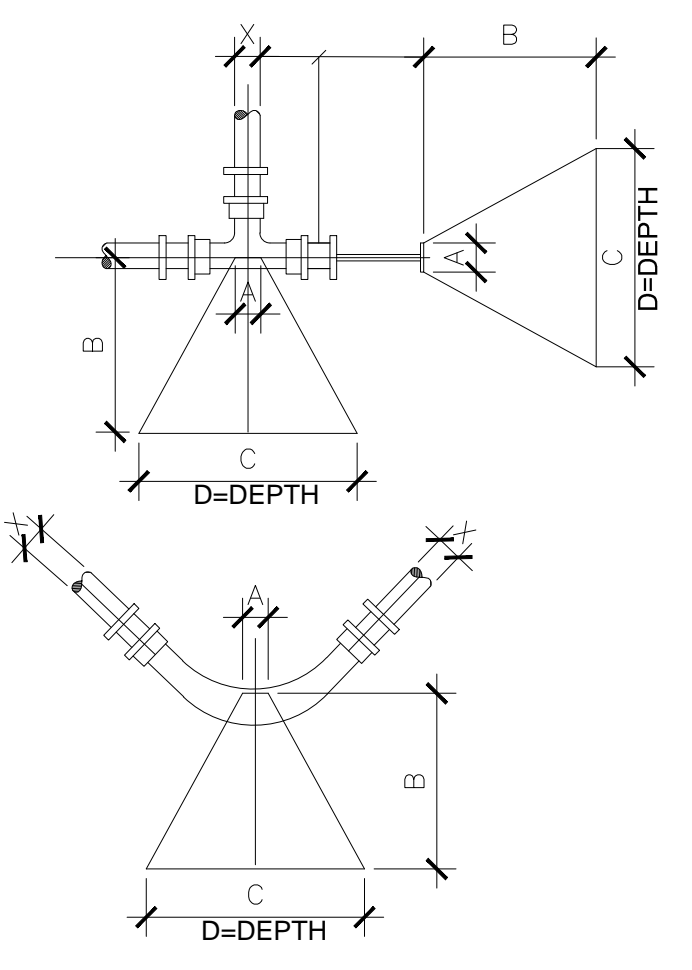
**4 CLEANOUT**  
C4.1 NTS



**5 DETENTION POND OUTLET**  
C4.1 NTS



**6 TYPICAL CATCH BASIN**  
C4.1 NTS

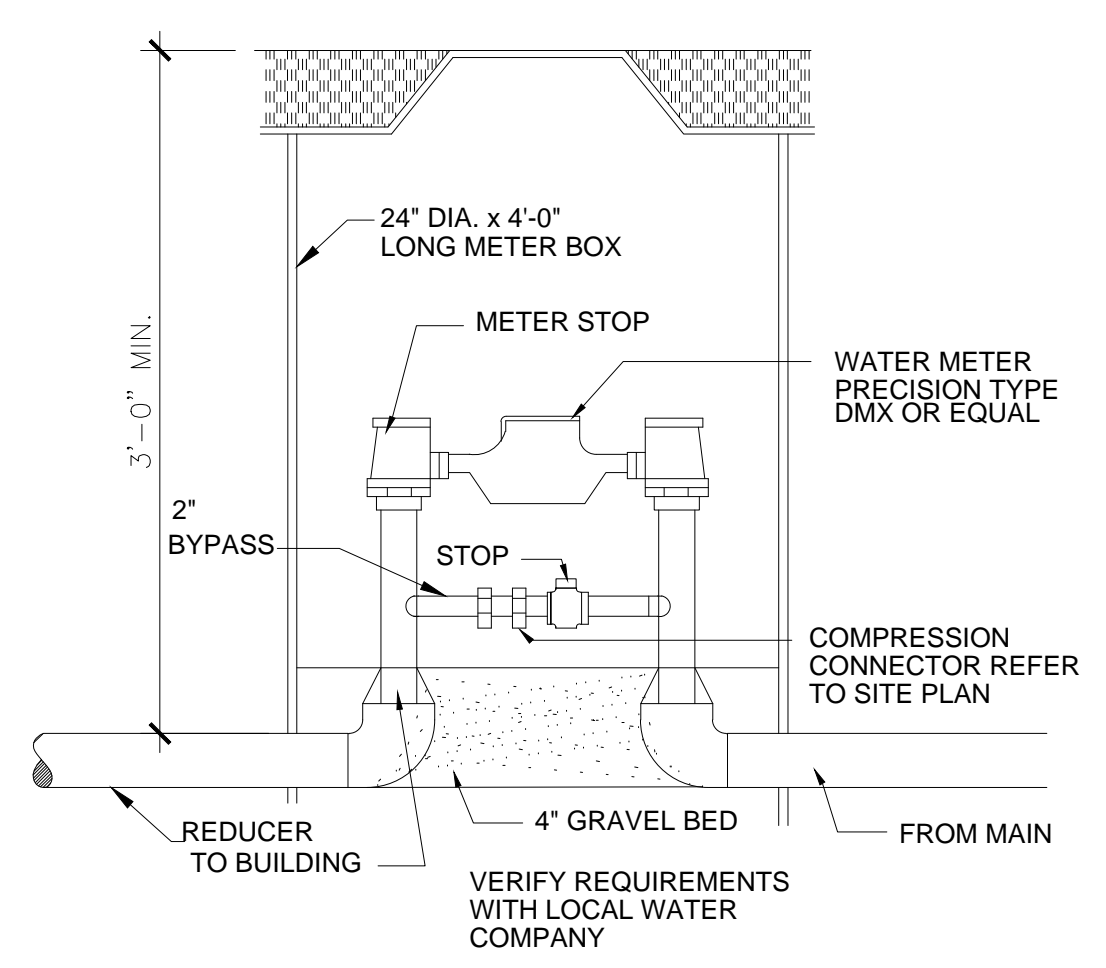


NOTE: CONCRETE TO HAVE A MIN. 28 DAY STRENGTH OF 3000 PSI

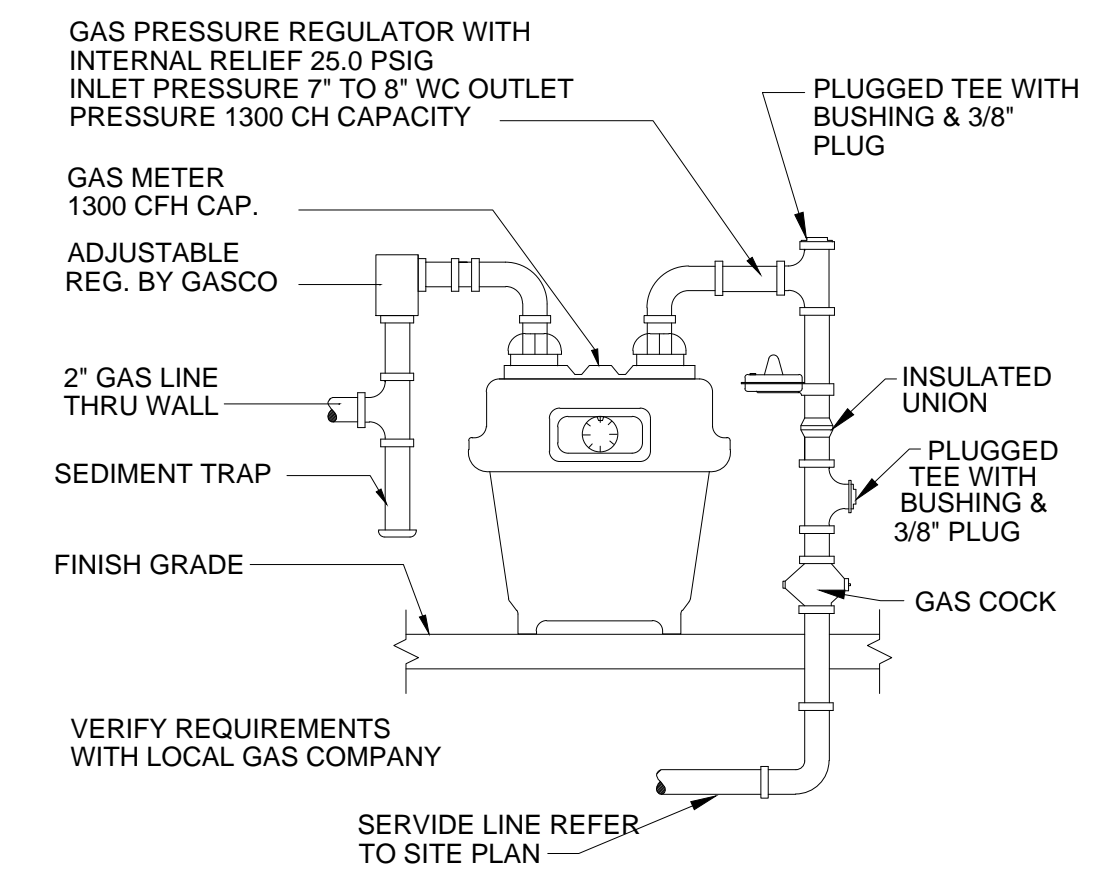
BLOCKING DIMENSIONS		X	A	B	C	D
DEAD END AND TEES	8"	10"	2'-3"	3'-3"	2'-0"	2'-0"
	12"	12"	3'-0"	4'-6"	3'-0"	3'-0"
BENDS	90°	8"	10"	2'-9"	4'-0"	2'-3"
	12"	12"	4'-3"	6'-0"	3'-3"	3'-3"
45°	8"	10"	1'-6"	2'-6"	2'-0"	2'-0"
	12"	12"	2'-9"	4'-3"	2'-6"	2'-6"
22 1/2°	8"	10"	1'-0"	2'-0"	1'-3"	1'-3"
	12"	12"	1'-9"	3'-0"	1'-9"	1'-9"
11 1/4°	8"	10"	0'-6"	1'-4"	1'-0"	1'-0"
	12"	12"	0'-6"	1'-9"	1'-6"	1'-6"

X= DIAMETER OF PIPE TO BE BLOCKED NOTE: BLOCKING SHALL BE CONSTRUCTED AS PER AWWA STD. 0600, SECTION 12.3, OR LATEST REVISION

**7 THRUST BLOCK**  
C4.1 NTS



**8 WATER METER**  
C4.1 NTS



**9 GAS METER & REGULATOR**  
C4.1 NTS

PROJECT NUMBER: E140208  
DRAWN BY: JG/JB  
DATE: 8/29/2014  
SCALE: SHEET 6 OF 8  
TIMOTHY L. LAPHAM, P.S., P.E. No. 27895

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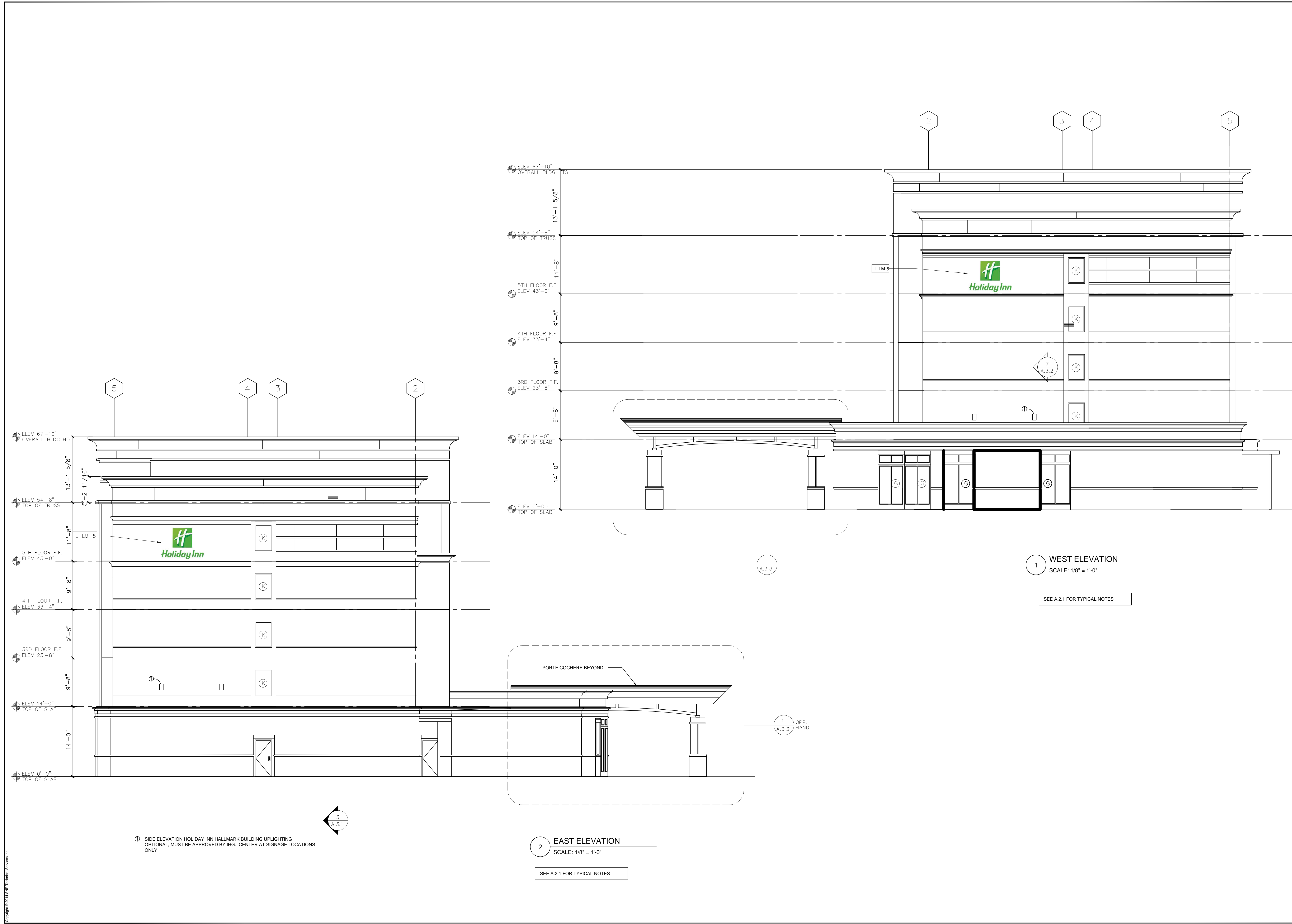
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U:\M3 Box Files\14435 Starbest Construction - Holiday Inn Express Hotel Mt. Pleasant\DRAWINGS\14435-A.2.3 West and East Building Elevations.dwg 8/25/2014 11:50:42 AM Kneiber




① SIDE ELEVATION HOLIDAY INN HALLMARK BUILDING UPLIGHTING  
OPTIONAL, MUST BE APPROVED BY IHS. CENTER AT SIGNAGE LOCATIONS  
ONLY

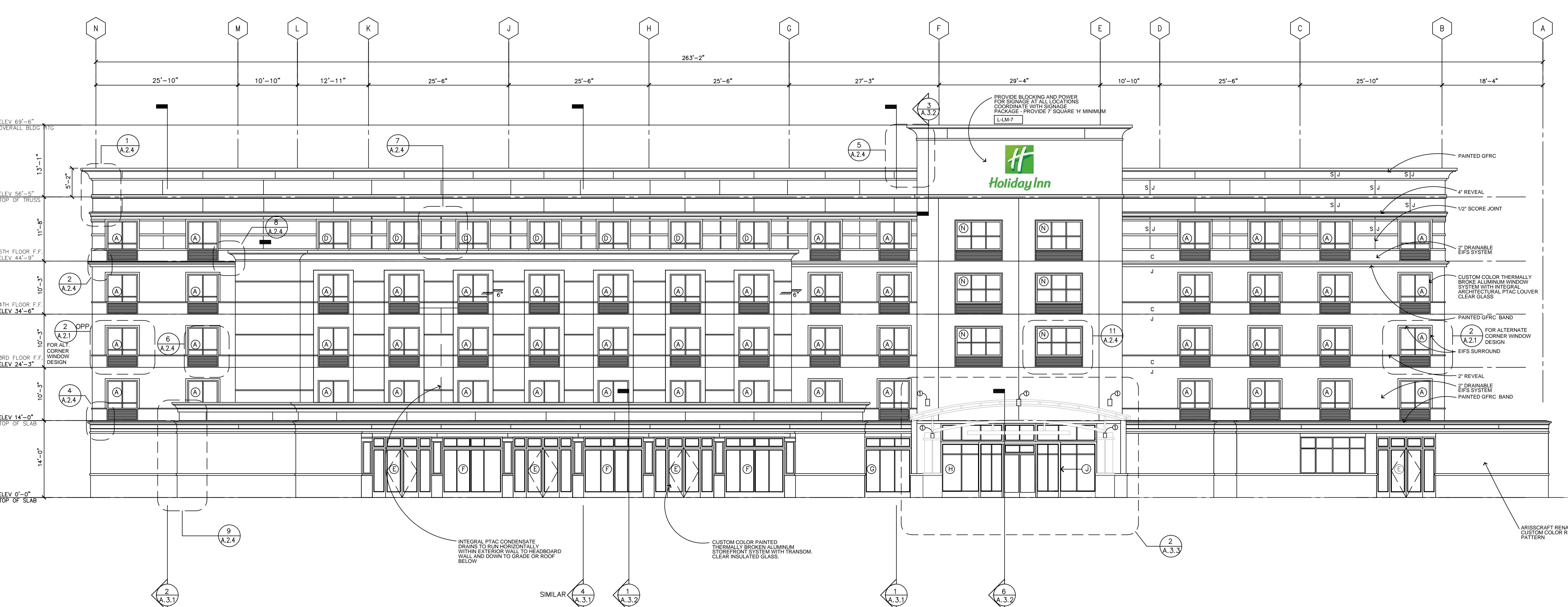
2 EAST ELEVATION  
SCALE: 1/8" = 1'-0"

1 WEST ELEVATION  
SCALE: 1/8" = 1'-0"

SEE A.2.1 FOR TYPICAL NOTES

SEE A.2.1 FOR TYPICAL NOTES

 <b>TECHNICAL SERVICES INC</b> <small>1333 Rochester Rd. Windsor, ON, Canada N9A 5C4</small>	
<b>WEST AND EAST BUILDING ELEVATIONS</b> SNP TECHNICAL SERVICES INC.	Title Client THE MT. PLEASANT HOTELS, LLC HOLIDAY INN HOTEL & SUITES
Designed By J.P.Z.	Date 05-28-14
Drawn By J.Y.	Date 05-17-14
Checked By A.K.	Date 05-28-14
Approved By A.K.	Date 05-30-14
Issued For OWNERS REVIEW	Issued For OWNERS REVIEW
Rev.	By
Date	Date
File Name 14435 - A.2.3	Scale 1/8" = 1'-0"
Rev.	Scale
SNP Project No. 14435	Sheet A.2.3



**TECHNICAL SERVICES INC.**  
1333 Hochstetler Rd.  
Windsor, ON, Canada N8T 5G4

**SNP**

By: \_\_\_\_\_ Date: \_\_\_\_\_  
 Issued For: \_\_\_\_\_  
 Date: 06-17-14  
 Rev: OWNERS REVIEW  
 Date: 05-28-14  
 05-28-14  
 05-30-14  
 05-30-14

Designed By: J.P.Z.  
 Drawn By: J.Y.  
 Checked By: A.K.  
 Approved By: A.K.

**NORTH & SOUTH BUILDING ELEVATIONS**  
SNP TECHNICAL SERVICES INC.

Client: **Holiday Inn THE MT. PLEASANT HOTELS, LLC**  
 Project: **HOLIDAY INN HOTEL & SUITES**

File Name: 14435 - A.2.1  
 Rev. Scale: 1" = 10'-0"  
 SNP Project No.: 14435  
 Sheet: **A.2.1**

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## **Union Township Sign Provisions Analysis and Recommendations**

Over the past 8 months the Union Township Planning Commission, Sign Committee, Zoning Administrator Woody Woodruff and ROWE Professional Services Company have gathered data on the current status of signage in the township, current weaknesses in current ordinance, the issues that the Planning Commission and Sign Committee felt needed to be addressed and the visual preference of participants in a survey of existing signs in the community.

Based on this input, ROWE has related the following report that summarizes the key issues raised by this input and makes specific recommendations to address them.

### SUMMARY OF INPUT/ANALYSIS

#### Existing Sign Inventory

A sign inventory was conducted of the signs on parcels on commercially and industrially zoned parcels. The inventory was conducted over a period of three months, beginning in December and completed in early March. The survey took much longer than anticipated due to massive amounts of snow throughout the survey period. The survey identified a total of over a thousand signs (freestanding, temporary, window and wall) at 271 locations. Added to this was a sample survey of approximately 30 locations in residential and agricultural areas. The signs in this inventory were analyzed for compliance. It demonstrated that

Among freestanding signs the most frequent nonconforming condition was multiple freestanding signs, although this was a matter of interpretation because most of the 54 properties with multiple free standing signs had two clearly different signs on the same pole. At what point should they be considered one sign? The next most common violation of freestanding signs was exceeding the maximum square footage. A total of 25 signs fell into that category

Other common nonconformities were businesses with window signs that exceeded 10% of window space (81), businesses with more than the allowed number of wall signs (55) and businesses with wall signs that exceed the maximum square footage (39).

Some of these nonconforming signs are due to variances granted or signs that predate the ordinance requirements.

Issues that were identified in the survey were:

1. While there is already a requirement that the signs making up an “integrated freestanding signs” must be “uniform in size and type” (Sec 11.7.A.3.d) how does the township want to address two or three businesses sharing a sign that might not be designed as an integrated freestanding sign?
2. Does the township want to consider increasing percentage of window signs above 10%?
3. Does the township want to consider increasing the square footage or number of wall signs, particularly for “big box” stores?

### Technical Analysis

In May ROWE staff presented a technical analysis of the current sign provisions in the Township Zoning Ordinance. The results of the technical analysis are broken down by section in the attached table. The analysis looked at the ordinance from several perspectives:

Layout – Are the provisions rationally organized and is the information easy to find? ROWE believes that current provisions are laid out in a reasonable manner. We believe that readability could be enhanced by incorporating some of the requirements into tables and by revising the current allotment tables. A sample revised table is attached.

Clarity – Are the provisions easy to understand? Some of the provisions seemed unclear and they are identified in the attached table. In some instances the meaning of the requirement may be addressed by an illustration. In other circumstances the term or requirement should be rewritten.

Consistency – Are the provisions internally consistent? There are instances where the provisions are inconsistent. An example is the comparison of Section 11.6.L which prohibits illuminated signs while Section 11.8.4 (Special Instructions) specifically allows direct and internally illuminated signs. We have also tried to ensure that the provisions are consistent with the other portion of the ordinance. Examples of inconsistencies we identified in this area include sign definitions for terms that were not used in the ordinance and properly tying administration provisions of the ordinance to administration of the sign requirements.

Comprehensive – Do the provisions adequately address all aspects of sign regulation? There are places in the ordinance where potential gaps in the regulations may exist. There are some types of signs not directly addressed in the current ordinance language that are addressed in other modern ordinances. In some cases the township's ordinance may address them indirectly and that may need to be clarified. In other circumstances provisions dealing with these types of signs may need to be added to the ordinance.

Compliance – Do the provisions comply with Michigan or US law? We reviewed the plan for potential incompatibility with state or federal law. Some of the issues or potential issues are the a provision prohibiting political signs from being erected more than 60 days prior to an election which conflicts with a State Attorney General opinion and ensuring that the regulations meet the US Supreme Court's requirement for "content neutrality" to the extent possible.

Many of the issues were clear cut and are already reflected in the draft sign regulations. However, some were more a matter of policy and require a determination by the township.

1. Subsection 11.3.A.2 appears to allow a nonconforming sign to be replaced by another nonconforming sign unless the original sign was destroyed more than 50%. If they are replacing the sign, why not require the new sign to comply?
2. Subsection 11.6.J allows Billboard Trailer Signs as long as they are attached to a licensed vehicle. Does the township want to allow this type of vehicle sign parked in parking lots?
3. You require most temporary signs to wait a minimum of 3 days between displays but require 30 days between permits for air/gas filled inflatables and beacon/search signs. Why the difference?
4. Do you want to include human directional signs and teardrop freestanding banners among the temporary signs requiring a permit?

5. The footnote in the allotment tables excluding religious symbols from sign area calculations may not be considered “content neutral”. Does the township want to retain this?
6. Paragraph E in the allotment tables special instructions lists the limits to the number of other signs allowed such as courtesy, directional, public agency, no trespassing/hunting and garage/yard sale signs, but other signs are not listed, such as identification, public interest, a-frames, banners, trailer/cart signs, wind signs, etc. Should these be added with a specific number allowed for each?

Visual Preference Survey/Public Open Houses

A set of two public open houses were held on June 24<sup>th</sup> One during the afternoon and the other in the evening to provide the public an opportunity to comment on issues related to signage. The turnout was disappointing, with only eight participants total, most of whom were public officials including Planning Commission members and the City of Mt. Pleasant Community Development Director. The participants were asked to brainstorm on the strengths and weaknesses of the current sign regulations and also participated in a visual preference survey. The results of the brainstorming session were merged with other efforts with the Sign Committee and Planning Commission and reported below. The results of the Visual Preference Survey are attached. The key aesthetic issues raised by the participants were:

1. Several of the signs were graded low because the message was difficult to read due to size or lack of contrast. While this may seem like an issue for the sign owner, it can also cause driver distraction if the driver has to take extra time to figure out what the sign says. Should a minimum lettering size or contrast requirement be included in the ordinance requirements?
2. There was also concern over several signs made out of cheap material or that looked temporary even though it was permanent. Should a provision be made identifying a minimum standards for material used in a sign?
3. There were several comments about ground mounted sign structures with several mismatched signs, particularly when they were placed so that there were gaps between the signs. As noted under item 1 of the existing sign inventory section of this analysis, does there need to be revisions to the requirement for “uniform in size and type” to make sure it applies to any multiple signs on the same post?
4. Monument signs with a cohesive look got very high grades. This is related to items 3 and 5.
5. Signs that incorporated brick or stone onto the base or supporting posts got high grades. Should a requirement be added requiring their use, or should a bonus such as a few additional square feet be provided to encourage their use?

Brainstorming Sessions

ROWE conducted brainstorming sessions with the Planning Commission, Sign Committee and the public to identify both the strengths and weaknesses of the current sign regulations and what they like or did not like about existing signs. We also asked the Planning Commission and Sign Committee to identify potential goals for the sign update process. Below are a summary of the issues identified.

Strengths/Likes	Weaknesses/Dislikes
Coordination with City and DDA on Monument Signs	Current regulation of digital signs
	Addressing sign lighting for businesses in residential districts

	Sign brightness, particularly in the evening
	Too many variances granted
	Need to address special needs of big box stores
	Sign lighting that flashes and looks like police lights
	Temporary signs all over front of building
	Signs that are very utilitarian, not aesthetically pleasing

**Potential Goals**

1. Address needs of big box stores
2. Address multiple signs
3. Use Master Plan’s vision as basis for updating sign regulations
4. Address digital signs
5. Improve ordinance clarity for both the administrative staff and the public

**Issues based on this input**

1. Digital signs - Section 11.7.A.5 deals with Message Center Sign/Time-Temperature-Date-Moving Signage. We have drafted a new set of provisions included in Draft 1 of the update to address issues such as brightness, particularly when adjacent to residential districts, the use of colors and the frequency of message change.
2. Lighting of signs in residential districts – We have proposed lighting standards for uses in residential districts in Draft 1 of the update.
3. Variances - This issue is addressed in the next section.
4. Big Box signage – This is a repeat of an issue raised under item three of the Existing Sign Inventory section
5. Sign lighting that flashes and looks like police lights – This is addressed under the proposed message center sign revisions.
6. Temporary signs all over front of building – The township has fairly strict regulations on temporary signs. In instances where temporary signs have proliferated it appears to be more of an issue of uncooperative businesses and a lack of time for staff to dedicate to enforcement activities.
7. Signs that are very utilitarian, not aesthetically pleasing – This is a repeat of an issue raised under item 2 of the Visual Preference Survey/Public Open Houses section.
8. Use Master Plan’s vision as basis for updating sign regulations – The Master Plan has very little to say about future sign regulations. General concepts in the plan are addressed by actions to improve the visual quality of signage and by making the ordinance easier to read and understand.
9. Improve ordinance clarity for both the administrative staff and the public – Draft 1 attempts to address this goal by adding illustrations, reducing duplication of regulations and revising the allocation tables,

**Review of Variances**

Union Township provided ROWE with a spreadsheet of all of the variances heard by the Township ZBA since 1995. Rowe pulled out the sign variances that were approved over that time. There were a total of 46 requests, although some involved multiple variances, so the total number of variances was greater (50).

The number of variances granted by type was:

Number	Type
7	Area of wall sign – Four of the variances were granted due to the large size of the building, the speed of the traffic passing by and the buildings setback. Most of the buildings were of the “big box” variety and this issue ties in with comments from the Planning Commission and staff concerning the need for more flexible standards regarding wall signs for these types of buildings.
6	Height of freestanding sign – There was not a common basis for the approval of the height variances.
5	Area of freestanding sign – Variances were granted for a variety of reasons including one where the applicant had ben originally approved for the sign and had erected it in good faith. There did not appear to be any common thread that could be addressed through an ordinance amendment
3	Number of freestanding signs – The variances were granted for different reasons.
3	Front setback of freestanding sign – All three variances were granted due to unique circumstances of the site and not common issues that would suggest a possible change to the zoning ordinance.
3	Number of wall signs
2	Height of freestanding sign when located next to the expressway – This has been addressed by a subsequent amendment to the zoning ordinance.
2	Size of directional signs
2	Side setback of freestanding sign
2	Size of wall sign where irregular shape was the issue – It has been suggested that the method for calculating the size of a sign could be modified to address irregularly shaped signs
2	Size of freestanding sign where irregular shape was the issue – It has been suggested that the method for calculating the size of a sign could be modified to address irregularly shaped signs
2	Freestanding sign in a residential district
2	Allow a second subdivision sign – In both cases the request was to allow signage at both entrances to the subdivision
2	Aggregate sign area
1	Separation distance for billboards
1	Extend the display period for a construction sign
1	Off-premise directional sign
1	Size of agency sign in residential district
1	Size of home occupation sign
1	Allow temporary banner
1	Allow an electronic message center in residential district

The biggest issues that we can draw from this review of the variances are:

1. Big Box signage – This is a repeat of an issue raised under item three of the Existing Sign Inventory section
2. Irregular wall signs – We have incorporated an exception to calculating sign area for irregular shaped based on a suggestion by the Township Zoning Administrator.

3. Allow a second subdivision sign – We have proposed and amendment in Draft 1 to allow one sign per entrance

#### SUMMARY OF OUTSTANDING ISSUES

The following are issues that have not been addressed as part of Draft 1 pending direction from the Planning Commission

1. How does the township want to address two or three businesses sharing a sign that might not be designed as an integrated freestanding sign?
2. Does the township want to consider increasing percentage of window signs above 10%?
3. Does the township want to consider increasing the square footage or number of wall signs, particularly for “big box” stores?
4. Does the township want to prohibit a nonconforming sign to be replaced by another nonconforming sign?
5. Does the township want to continue to allow Billboard Trailer Signs parked in parking lots?
6. Does the township want to continue to require a 30 day wait period between permits for air/gas filled inflatables and beacon/search signs when all of the other temporary permits only require 3 days?
7. Does the township want include human directional signs and teardrop freestanding banners among the temporary signs requiring a permit?
8. Does the township want to eliminate the footnote in the allotment tables excluding religious symbols from sign area calculations?
9. Does the township want establish a maximum number of signs allowed for identification, public interest, a-frames, banners, trailer/cart signs, wind signs, etc.?
10. Does the township want a minimum lettering size or contrast requirement be included in the ordinance requirements?
11. Does the township want to add a requirement that stone or brick must be used in the base of ground mounted signs or create a bonus such as a few additional square feet be provided to encourage their use?

#### DRAFT 1 OF SIGN PROVISIONS

Below are the recommended changes to the sign related provisions of the zoning ordinance. The “track changes” feature of MS Word was used to identify changes. Words in ~~strikethrough~~ identify current text proposed to be deleted; words in underline are proposed to be deleted. In addition, text in **[BOLD/ALL CAPS IN BRACKETS]** is providing the reason for the recommended change. Text highlighted in yellow and ~~deleted~~ has been moved to another location in the ordinance. Text highlighted in yellow and underlined is where it was moved to.

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DRAFT 1 – 9-4-14

SECTION 11 /BILLBOARDS AND SIGNS

(Amended Ordinances 1996-8, 1998-3)

11.1 Purpose Statement

The intent of this section is to regulate the location, size, construction, and manner of display of signs and outdoor advertising in order to minimize their harmful effects on the public health, safety and welfare. While this section recognizes that signs and outdoor advertising are necessary to promote commerce and public information, failure to regulate them may lead to poor identification of individual businesses, deterioration and blight of the business and residential areas of the township, conflicts between different types of land use, and reduction in traffic safety to pedestrians and motorists. To achieve its intended purpose, this section has the following objectives:

A. To prevent the placement of signs in a manner that will conceal or obscure signs or adjacent businesses;

B. To keep the number of signs and sign messages at the level reasonably necessary to identify a business and its products;

C. To keep signs within a reasonable scale with respect to the buildings they identify;

D. To reduce visual distractions and obstructions to motorists traveling along, entering or leaving streets;

E. To promote a quality manner of display which enhances the character of the township; and

F. To prevent the proliferation of temporary signs which might promote visual blight.”

**[ADD PURPOSE STATEMENT TO IDENTIFY PUBLIC PURPOSE OF ORDINANCE]**

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**11.1 GENERAL SIGN PROVISIONS**

A. All signs erected, altered, or maintained in the Township shall conform to the building code of the Charter Township of Union and to provisions of this ordinance, whichever imposes the greater restrictions.

B. Any sign that can be displayed under the provisions of this ordinance may contain a non-commercial message. **[PROVICE SUBSTITUTION CLAUSE TO COMPLY WITH U.S. SUPREME COURT RULING ON POLITICAL SPEECH]**

~~B. Signs in all districts permitted only if they:~~

~~Identify the business conducted on the property; or~~

~~Identify a product sold by the business conducted on the property; or;~~

~~Identify a service of the business conducted on the property; or~~

~~Identify a product made by the business conducted on the property; or~~

~~Identify the name, address, and telephone number of the occupant of the premises; and~~

~~Do not extend into or over, private or public right of ways or restrict sight lines on public right of ways.~~

**[INCORPORATE INTO DEFINITION OF ON PREMISE SIGN]**

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C. Illuminated signs shall be permitted in agricultural over ten (10) acres, Business Districts, and Industrial Districts. Exception: Church, Public and Institutional signage in all Districts may be illuminated. **[DUPLICATION – ALREADY INCORPORATED INTO ALLOCATION TABLES]**

C. Signs are structures as defined by this ordinance and review and approval of signs shall be through the issuance of a zoning permit as provided in Section 6.3 of this ordinance.

**[TO TIE THE SIGN REGULATIONS TO THE GENERAL ADMINISTRATION OF ZONING IN THE ORDINANCE]**

**11.2 SIGNAGE DISPLAY AREA COMPUTATION**

**A. Sign Area Computation**

1. The area of a sign regulated herein shall be the total computed area of the extreme limits upon which lettering, logo, symbols, insignia or other devices are placed, directly painted or applied. However, computation of square feet shall be based on the signage and not the decorative structure [INCORPORATED FROM STANDARD FOR SUBDIVISION SIGN]

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**INSERT ILLUSTRATION**

**2. Multiple Faces**

- a. For signs having two (2) parallel sides not separated by more than twelve (12) inches, the maximum display area shall be permitted on both sides, and the total area of one side shall be deemed to be the total sign area.
- b. For signs having three (3) or four (4) faces (triangular or cubic), the area shall be the sum of two adjacent faces.

3. The supporting structures shall not be included in the area computation unless utilized as part of the total signage display area.

~~4. Buildings on a corner lot shall be considered to have two (2) front faces. An additional fifty (50%) percent of the attached address frontage wall sign allotment shall be permitted for the non-address side of the building. Signage allotments are not transferable~~ [DUPLICATION – ALREADY INCORPORATED INTO ALLOCATION TABLES]

**4. In the case of unusually shaped wall signs with significant space between elements, the area calculation may be separated into calculation of two separate elements, but each element shall count as a separate sign.**

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[TO PROVIDE AN OPTION FOR CALCULATING UNUSUALLY SHAPED SIGNS]

**INSERT ILLUSTRATION**

5. Any building or portion of a building which is proposed to be erected and which is classified as a sign shall be permitted only upon application for approval of a special exception. The Zoning Administrator shall determine whether or not such proposed building or portion thereof will be classified as a sign prior to the issuance of a building permit and shall notify the owner or builder of the proposed building of such findings. Any decoration which implies the business name shall be considered part of the business insignia. In making his or her determination, the Administrator may refer such plans and details to the Planning Commission for recommendation.

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~~1. Light trespass from a sign shall not exceed 0.3 foot-candles at any property line that abuts residentially zoned property. Not light source from a sign shall be visible from an adjacent parcel.~~

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[TO ADDRESS LIGHT TRESSPASS FROM SIGNS]

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**B. Building Frontage and Height Computation**

~~1. The width, height, or length of a building, whichever is greater, shall be used to determine the signage allowed for the building.~~ [DUPLICATION – ONLY APPLIES TO WALL SIGNS IN COMMERCIAL DISTRICTS AND IS ALREADY INCORPORATED INTO THAT TABLE IN FOOTNOTES “I” AND “K”]



2. The height of a sign shall be computed as the distance from the base of the sign at normal grade to the top of the highest attached component of the sign. Normal grade shall be construed to be the lower of (1) existing grade prior to construction or (2) the newly established grade after construction, exclusive of any filling, berming, mounding, or excavating solely for the purpose of locating the sign. In cases in which the normal grade cannot reasonably be determined, sign height shall be computed on the assumption that the elevation of the normal grade at the base of the sign is equal to the elevation of the nearest point of the crown of a public street or the grade of the land at the principal entrance to the principal structure on the lot, whichever is lower.

~~3. A business parcel located completely within five hundred (500) feet of the nearest edge of the intersection of an expressway and local street (not including ramps) shall be permitted one (1) freestanding sign not to exceed fifteen (15) feet above the highest point of the expressway roadbed at the intersection.~~ **[DUPLICATION – ONLY APPLIES TO SIGNS IN COMMERCIAL DISTRICTS AND IS ALREADY INCORPORATED INTO THAT TABLE IN FOOTNOTE “O”]**

### 11.3 MAINTENANCE AND REMOVAL

#### A. Maintenance

1. **Maintenance.** Every sign, including those specifically exempt from this section with respect to permits and permit fees, shall be maintained in a good structural condition at all times. All signs shall be kept neatly painted, including all metal parts and supports thereof that are not galvanized or of rust resistant metals. The Zoning Administrator or his/her authorized representative shall inspect and may order the painting, repair, alteration or removal of a sign which constitutes a hazard to safety, health or public welfare by reason of inadequate maintenance, dilapidation or obsolescence. A permit is not required for normal maintenance and repair of a sign structure, such as painting, repainting and cleaning.

2. **Continued Maintenance.** The replacing or repairing of a sign or sign structure which has been damaged to an extent less than fifty (50%) percent of the appraised replacement cost, as determined by the Zoning Administrator, shall be considered as maintenance. Only when such sign conforms to all applicable provisions of the Ordinance and when damage exceeding fifty (50%) percent of the appraised replacement cost, has been caused by an act of God or a violent accident the owner/lessee of the sign or property owner shall be permitted to repair said sign.

#### B. Removal

A sign in violation of one (1) or more of the following conditions shall be removed by the owner/lessee of the sign or property owner, at their expense, as specified by these conditions within 60 days of the date of notification of the violation by the Zoning Administrator: **[PROVIDES A SET TIME LIMIT FOR REMOVAL OF THE SIGN IN VIOLATION]**

1. **Safety.** A sign which endangers public/private property or public safety shall be altered or removed.

2. **Maintenance.** Any sign maintained in violation of this section shall be removed.

3. **Obsolete Signs.** A sign shall be removed when the business which it advertises is no longer conducted on the premises.

4. **Abandoned Signs.** Abandoned non-conforming signs shall be removed. A new sign permit at the same address shall not be issued until the abandoned non-conforming sign is removed. Where a new business fails to remove signs from the premises, the property owner shall be responsible for their removal.

5. **Non-conforming Signs.** Non-conforming signs in use on the effective date of this Ordinance shall be permitted to remain, provided they are properly maintained. Such maintenance is restricted to painting and minor repairs that cannot be considered a rebuilding of the sign. Refer to Section

#### 11.4 NON-CONFORMING SIGNS

A. Legal Non-conforming Signs - Continuation of. A legal non-conforming sign may be continued and shall be maintained in good condition by painting and minor repairs, but it shall not be:

1. Converted to another non-conforming sign by changing permanent copy;
2. Expanded or altered so as to increase the degree of non-conformity of the sign;
3. Re-established after the business, or usage to which it refers to has been discontinued.
4. Continued in use after cessation or change of the business or activity to which the sign pertains;
5. Re-established after damage or destruction if the estimated cost of reconstruction exceeds fifty (50%) percent of the appraised replacement cost, as determined by the Zoning Administrator; or

~~6.1. Continued if the seller of said property, or business/franchise lessee does not retain fifty (50%) percent or more of the title to said property.~~

**[ZONING IS TIED TO THE LAND AND IT'S USE, NOT THE OWNER OF THE PROPERTY]**

B. Legal Non-conforming Signs - Erection of New Signs Where Legal Non-conforming Signs Exist:

On lots where an existing on-premises sign exceeds the sign area allowed by this section, and in that respect is a legal non-conforming sign, no new on-premises sign, either freestanding sign or ~~attached to a building wall sign~~, shall be erected until such existing legal non-conforming on-premises sign is brought into compliance with this section. **[COVERS A WALL SIGN PAINTED ON A BUILDING]**

#### ~~11.5 RIGHTS OF APPEAL~~

~~A. Rights of Appeal:~~

~~Special circumstances or conditions for sign variances may be petitioned to the Zoning Board of Appeals.~~

~~B. Variance to Standards Which May Cause Denial of a Variance Request:~~

- ~~1. Convenience or economic hardship to the applicant;~~
- ~~2. Inclusion of signs otherwise prohibited by these regulations;~~
- ~~3. Lack of exposure on a primary sign frontage;~~
- ~~4. Limitations on visibility resulting from required landscaping;~~

~~5. Location of buildings or other structures;~~

~~6. Size of a proposed sign.~~

**[RIGHT TO APPEAL OR REQUEST A VARIANCE ARE ALREADY COVERED BY ZBA PROVISIONS OF THE ZONING ORDINANCE]**

#### **11.6 PROHIBITED SIGNS**

The following types of signs are specifically prohibited due to their potential to obstruct clear vision, distract or confuse motorists or detract from the visual character of the township:

**[STRENGTHENS THE PUBLIC PURPOSE RATIONAL FOR THE REQUIREMENTS]**

A. Signs that obstruct the vision clearance area of a street or driveway intersection and result in a traffic hazard and/or violates Section 8.8 Clear Vision; **[TIES REQUIREMENT TO GNEBERAL ZONING ORDINANCE PROVISION]**

B. Signs that obstruct ingress or egress through any door, window, fire escape, or like facility, required or designated for safety or emergency use;

C. Signs that may be confused with public traffic signs or highway identification signs, such as signs that use words like **“STOP”, “SLOW”, “CAUTION”, “LOOK”, “DANGER”**, or any other word, phrase, symbol, or character that may mislead or confuse vehicle operators;

~~D. Signs or sign structures determined by the Building Official or Zoning Administrator to constitute a hazard to the public safety or health by reason of poor structural design or construction, inadequate maintenance, lack of repair, or dilapidation or obsolete and abandoned signs;~~ **[DUPLICATION-THIS IS ALREADY ADDRESSED IN SECTION 11.3.B]**

E. Illuminated flashing signs which flash, blink, fluctuate, or have chaser, or scintillating ability.

F. Strings of light bulbs used in connection with commercial premises for commercial purposes, other than in season traditional holiday decorations;

G. Signs that are moving or have any moving part. This includes movement in mechanical, electrical, or kinetic means, wind currents or any other means ~~except a Message Center;~~ **[NOT APPLICABLE – MESSAGE CENTER SIGNS DON’T MOVE, THEIR MESSAGE DOES]**

H. Roof Signs;

I. Signs with visible A-frames, trusses, or guide wires as part of the sign or sign structure except as otherwise allowed under Section 11.7.C.2; **[CLARIFY EXCEPTION]**

J. Billboard Trailer signs not attached to a licensed and insured motorized vehicle carrying the logo or name of the primary business.

K. Signs placed on, affixed to, or painted on any motor vehicle, trailer, or other mobile structure not registered, licensed, and insured for use on public highways;

~~L. Illuminated signs in the Agricultural Districts under ten (10) acres, and Residential Districts;~~ **[THIS IS COVERED IN FOOTNOTE “D” OF ALL OF THE TABLES.]**

M. Signs on fences, trees, rocks or utility poles.

[N. Signs not otherwise expressly permitted](#)

[O. Signs attached to fire hydrants](#) **[ADDED PROHITED SIGNS COMMON TO OTHER ORDINANCES]**

11.7 SIGN REGULATIONS - REFER TO EACH DISTRICT CHART FOR AREA, HEIGHT AND SETBACK REGULATIONS.

No person shall erect, install, maintain, alter, repair, remove, or use (or cause or allow the same to be done) any sign unless specifically authorized by these regulations. No permit shall be issued for the erection, display, or maintenance of any sign in violation of these regulations.

A. Permanent Signage Types - Permit Required

1. Awning/Canopy Sign:

- a. Except for suspended signs, all signs displayed on canopies or awnings shall be parallel to the face of the canopy or awning upon which subject signs are displayed.
- b. Signage printed on the awning/canopy shall be included in the total square feet of allowed wall signage.

2. Billboards:

~~a. Billboards shall only be permitted in I-1 Light Industrial Districts and I-2 General Industrial Districts.~~  
**[ADDRESSED IN ALLOTMENT TABLE]**

b. No billboard shall be located within two hundred fifty (250) feet of any lot line in any R District.

~~e. No billboard shall be constructed or erected on a lot so as to obstruct the view of adjacent buildings or signs.~~  
**[ADDRESSED UNDER PROHIBITED SIGNS]**

d. All billboards shall conform to any applicable building front, side, or rear yard setback requirement of the District in which they are located, except that, at the intersection of any state or federal highway, with a major or minor street there shall be a setback of not less than one hundred (100) feet from the established right-of-way of each such highway or street.

~~e. Maximum height of billboards in all Districts shall be twenty-five (25) feet.~~  
**[ADDRESSED IN ALLOTMENT TABLE]**

f. Minimum spacing between billboards shall be one thousand (1,000) linear feet.

~~g. Maximum billboard size shall be three hundred (300) square feet in area.~~  
**[ADDRESSED IN ALLOTMENT TABLE]**

h. A billboard shall not be placed on any lot that does not have a minimum lot width of five hundred (500) feet.

3. Freestanding (Elevated/Ground):

~~a. Freestanding signs are permitted in all districts.~~  
[ADDRESSED IN ALLOTMENT TABLE]

~~b. Freestanding signs located on property which abuts both a controlled access highway or a major street and a state or federal numbered highway may not be erected where the total height of said sign is greater than sixteen (16) feet above the plane of the pavement of the highest road at the intersection.~~  
[ADDRESSED IN ALLOTMENT TABLE SPECIAL INSTRUCTIONS]

c. Only one (1) freestanding, elevated or ground, shall be permitted per lot/parcel or integrated business regardless of the total number of individual lots/parcels or multiple users sharing the business parcel. The sign shall provide for shared or common usage.

d. Tenant listings on the freestanding integrated sign shall be uniform in size and type. Style of lettering may vary.

4. Marquee Sign:

a. Marquee signs are prohibited except when used in conjunction with an indoor movie theater.

b. No sign shall project beyond the corner of a building.

~~c. Marquee signs count as a wall sign in the total number of signs allowed and the square footage allotment~~[TO CLARIFY CALCULATION OF SIGN AREA AND NUMBER]

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~~5. Message Center Sign/Time Temperature Date Moving Signage:~~

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~~a. Such sign shall be part of a free standing or wall sign and shall be subject to the area, height, and placement requirements for such sign.~~

~~b. The changeable message portion of such sign shall not exceed 1/3 of the sign area, and the remainder of the sign shall be of a permanent character as otherwise required under this ordinance.~~

~~c. In addition to the general requirements for sign maintenance, all changeable copy signs shall bear a legible message, other suitable display or be left blank. Electronic devices when not in use are to be left blank and unlighted. Any lighted or electronic changeable message sign in which the electrical or lighting components are operating in an erratic, broken or damaged fashion shall be turned off or removed.~~

~~d. The sign shall not include animation including scrolling or flashing messages and the message on the sign may change a maximum of four (4) times per minute. At all other times the sign message and background must remain constant.~~

~~e. Message center signs in or adjacent to residential or agricultural districts shall be regulated so that at dusk and into the evening the sign dims in order to maintain the same level of contrast with the ambient lighting that existed during the day. A sign incapable of regulating the brightness contrast in this manner shall remain off between dusk and sunrise.~~

[TO ADDRESS MESSAGE CENTER SIGNS, ALLOWING THEM IN AGRICULTURAL AND RESIDENTIAL DISTRICTS AS SPECIAL USE PERMITS (SEE ALLOTMENT TABLES), ADDRESSING LIGHTING CONCERNS AND TOTAL SIZE AND DISTRACTION CAUSED BY RAPIDLY CHANGING MESSAGES]

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~~a. Any identification or advertising which is attached to or made part of a Time Temperature Date Message Center sign structure shall be included in the allowable sign area for the premises.~~

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~~b. Illumination shall be by internal means only.~~

6. Sub-division / Apartment / Condominium Identification:

a. Sub-divisions, apartment complexes and condominiums, shall be permitted one (1) freestanding ground/elevated sign per entrance. [TO ADDRESS ISSUE RAISED BY VARIANCE REQUESTS]

~~b. Computation of square feet shall be based on the signage and not the decorative structure.~~ [MOVED TO THE GENERAL REQUIREMENTS FOR CALCULATING SIGN AREA]

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7. Suspended Signs:

a. Suspended sign shall not project over sidewalk, public or private right-of-way.

b. Suspended signs shall not project beyond the outside limits of the permanent sign structure to which they are attached.

~~c. Shall be included in the total signage allotment.~~ Suspended signs count as a wall sign in the total number of signs allowed and the square footage allotment [TO CLARIFY CALCULATION OF SIGN AREA AND NUMBER]

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8. Wall, Wall Projected and Projected Signs: Wall signs shall comply with the requirements in the allocation tables ~~be permitted only on the front address side of the building except:~~

~~a. Where a building is located on a corner lot, the building is considered to have two (2) building fronts. An additional fifty (50%) percent of the attached front address wall sign allotment shall be permitted for the non-address side of the building. The allotments are not transferable.~~

~~b. Where a public entrance to a business establishment is also provided at the rear or side, from an adjoining off-street parking lot, one (1) additional attached wall sign shall be permitted. The additional signage shall be included in the total allowable square feet permitted for attached wall and projected wall signage for the front address side.~~ [ADDRESSED IN ALLOTMENT TABLE SPECIAL INSTRUCTIONS – ONLY APPLIES TO COMMERCIAL, INDUSTRIAL AND OFFICE DISTRICTS]

9. Service and Religious Organizations Signs (Ord 2002-07)

a. Signs enumerating multiple local service clubs, fraternal and veterans' organizations and religious organizations by name or logo and address only shall be permitted in any B

or I zone. **[TO CLARIFY THE INTENT IS FOR A SIGN THAT RECOGNIZES A RANGE OF SERVICE AND RELIGIOUS ORGANIZATIONS]**

b. Maximum sign area shall be 100 square feet and not more than 10 feet over all height, excluding supporting structures.

c. Any service club or religious organization may apply for this sign. The applicant shall notify, in writing, any and all service clubs and religious organizations within the area bounded by Union Township, including any incorporated areas, to extend the opportunity to have their name and or logo placed upon the sign. After 60 days of such notification, the applicant shall provide the zoning administrator with a drawing of the proposed sign and a copy of the names and addresses of all organizations notified.

d. The sign may be composed of individual elements provided by each organization. Lettering shall be uniform.

e. Space should be set aside for future organizations.

f. No slogans, mottos, or products shall be placed on the sign.

g. The agency applying for the sign must be responsible for maintenance of the sign, allowing future organizations space on the sign, and administration of any leases and or fees.

#### B. Permanent Signs - No Permit Required - Identification and Informational Signs:

1. All categories of identification and informational signs shall be permitted as accessory signs and are not included in any computation of the sign area [for permitted signs in the allocation tables. However, they shall comply with the number and area limitations for such signs in the tables.](#) **[TO CLARIFY THAT THE EXEMPTION IS BOTH NUMBER AND AREA]**

#### 2. Directional Vehicular/Pedestrian Signs - Both Public and Private:

a. Directional signs may be used to provide direction regarding the location of parking areas, access drives, loading, unloading and/or receiving areas and specific buildings or facilities.

b. Horizontal signs on and flush with paved areas are exempt from these standards.

#### 3. Identification Signs:

a. Sign may establish the identity of a building or building complex by name and/or symbol only;

b. Sign may indicate street address or combine name plate and street address.

c. One sign per building, business, occupant.

#### C. Temporary Sign Types - Permit Required

1. Temporary (permit required) signage shall:

- a. Comply to all regulations of permanent signage;
- b. Have a maximum of two (2) permits issued in each calendar year, three (3) days must elapse between each permit;
- c. Be used in conjunction with a bona fide grand opening, new owner, or special event;
- d. Be stored in a building or concealed from public view at the rear of the property;
- e. Have no time extensions.

2. A-Frame/Sandwich Board, Banner, Trailer, Cart and Wind Sign: A-frame/sandwich board, banner, trailer, cart with or without wheels, and wind sign permits shall not exceed thirty (30) days.

3. Air/Gas Filled Inflatable and Beacon/Search Sign: shall be permitted for a maximum of two (2) times per year and for a maximum of three (3) consecutive days. Thirty (30) days shall elapse between the two (2) permits.

D. Temporary Signage Types - No Permit Required

1. Commodities - ~~Off-On~~ Premise: Advertising of home produced agricultural products in an agricultural or residential districts shall be permitted: **[BASEDON DEFINITION OF COMMODITIES SIGN, IT WOULD BE AN ON PREMISE SIGN]**

a. Maximum of one hundred eighty (180) days per calendar year.

~~b. A maximum of four (4) square feet per sign.~~ **[ADDRESSED IN ALLOTMENT TABLE, BUT THERE THE MAXIMUM SIZE IS 16 SF]**

~~e.~~ Maximum number of signs permitted per parcel shall be two (2).

2. Construction:

a. Construction signs which identify the architects, engineers, contractors, or other individuals or firms involved with the construction of a building or facility, but exclude any advertisement of any product or purpose for which the building is intended.

b. Signs shall be limited to twelve (12) months.

c. Signs shall be removed within fourteen (14) days of the initial occupancy.

d. The sign shall be confined to the site of the construction.

~~e. The maximum size of a sign shall be sixteen (16) square feet per individual firm, or thirty-two (32) square feet when listing two (2) or more firms.~~

**[PARTIALLY ADDRESSED IN ALLOTMENT TABLE, BUT IN SOME DISTRICTS THE MAXIMUM SIZE IS 8 SF, MOVED TO A FOOTNOTE OF THE ALLOTMENT TABLE]**



3. Construction Development Identification:

- a. Signs advertising residential or commercial development of six (6) or more units may display recorded plat information.
- b. Such signs shall be removed at the time seventy-five (75%) percent of the lots in the development are sold or leased

4. Garage - Yard Sale Sign: Signs may be placed twenty-four (24) hours prior to the sale and must be removed twenty-four (24) hours after the sale. Sign usage shall be limited to four (4) times per year with a limit of four (4) days per usage.

~~5. Model Home: Shall be permitted in AG and R Districts.~~  
[ADDRESSED IN ALLOTMENT TABLE]

6. New Business/Owner or Grand Opening: Shall be permitted a maximum of thirty (30) days.

7. Political:

- a. Political signs may be placed only with the permission of the property owner or occupier.

~~b. A political sign may be erected no sooner than sixty (60) days before said election.  
Removal: (Amended, Ord 2002-03)~~

**[STATE ATTORNEY GENERAL OPINION #6258 PROHIBITS A COMMUNITY FROM LIMITING THE POSTING OF POLITICAL SIGNS TO A SPECIFIC NUMBER OF DAYS PRECEDING AN ELECTION]**

~~b.~~ Signs shall be removed ~~seven (7)~~ 14 days following such referendum or election. Candidates remaining in a November general election following an August primary election in the same year are not required to remove signs until seven (7) days after the general election.

**[BASED ON DISCUSSION WITH ZONING ADMINISTRATOR]**

- d. Candidate/property owner is responsible for the removal of sign.

8. Real Estate - Rental/Lease:

- a. One (1) non-illuminated sign shall be permitted per lot or premises, and two (2) non-illuminated signs shall be permitted on a corner lot.
- b. Signs shall be removed fourteen (14) days after the completion of the sale/lease agreement or occupancy.

9. Window Signs:

- a. A sign inside a window shall not exceed ten (10%) percent of the total window area on address side only.
- b. Window signs are permitted on the ground floor window address side only.

E. Exceptions to Permit Requirements: The following signs or operations shall be exempt from regulation under this Ordinance:

1. Copy changing or replacing of the advertising copy or message of conforming signs.
2. Maintenance of signs, including repainting, cleaning and other normal maintenance repair which does not include structural changes.
3. Flags of official nations, state or local governments [as well as other nongovernmental signs such as colleges or civic organizations](#) may be flown and maintained with respect due to these symbols of honor and authority, as specified by the U.S. Flag Code. The American Flag shall not be used for advertising purposes in any manner. **[ADDRESSES THE DIMMITT V CITY OF CLEARWATER, DECISION WHICH FOUND THAT AN ORDINANCE THAT PROHIBITED NON-GOVERNMENTAL FLAGS WAS NOT CONTENT-NEUTRAL]**

**~~11.8 SIGNAGE ALLOTMENT – AGRICULTURE DISTRICT OVER 10 ACRES~~**

**~~SPECIAL INSTRUCTIONS:~~**

~~1. Total maximum sign area not to exceed twelve (12) square feet of permanent signage—permit only. (See chart).~~

~~2. Total number of signs permitted for address side of permanent signage—permit only—Two (2):~~

~~Wall—One (1)~~

~~Freestanding—One (1).~~

~~3. Side Setback—minimum 30'; Front Setback—minimum of 10' to the road right of way.~~

~~4. Illumination: direct and internal permitted.~~

~~5. Additional signs permitted: Identification—one (1) per building, Courtesy and Directional—aggregate signs not to exceed twelve (12) square feet. Public Agency, No Trespassing/Hunting, Garage/Yard Sale no limit.~~

~~6. Sign area exceptions: Building on a corner lot shall be considered to have two (2) front faces. An additional fifty (50%) of the attached address frontage wall sign allotment shall be permitted for the non-address side of the building. Sign allotment is not transferable.~~

**CHART 11.8a – SIGNAGE ALLOTMENT – AGRICULTURE DISTRICT OVER TEN (10) ACRES**

PERMANENT SIGNAGE PERMIT REQUIRED	MAX. AREA PER (SQ. FT.)	MAX. HEIGHT (LINEAR FT.)	MAX. PROJECTION (INCHES)	MIN. HEIGHT (LINEAR FT.)
ATTACHED WALL	8	⌈	3	N/R
PROJECTED WALL				
AWNING/CANOPY				
MARQUEE				
SUSPENDED	4	⌈		8
SUBDIVISION / APARTMENTS / CONDOMINIUM I.D.	12	6	3	N/R
FREESTANDING ELEVATED	* 12	6	3	N/R
FREESTANDING GROUND	* 12	6	3	Ground
MESSAGE CENTER				
BILLBOARD				
PERMANENT SIGNAGE NO PERMIT IDENTIFICATION/INFORMAL SIGNAGE				
COURTESY	2	6	3	N/R
DIRECTIONAL	2	6	3	N/R
IDENTIFICATION	2	6	3	N/R
PUBLIC AGENCY	2	6	3	N/R
PUBLIC INTEREST	4	6	3	N/R

Shaded = Not Permitted

N/R = Not Regulated

\* = churches, institutional, and public buildings are permitted one (1) freestanding sign not to exceed twenty-four (24) square feet in area nor more than six (6) feet in height, and not more than (2) wall signs, the sum of which is not to exceed 50 SF. Religious symbols are exempt.

⌈ = Height of wall or 5' below eave, maximum 25'.

**Chart 11.8b SIGNAGE ALLOTMENT – AGRICULTURE DISTRICT OVER TEN (10) ACRES**

TEMPORARY SIGNAGE PERMIT REQUIRED	MAX. AREA PER SIGN (SQ. FT.)	MAX. HEIGHT (LINEAR FT.)	MAXIMUM PROJECTION (INCHES)	MIN. HEIGHT (LINEAR FT.)
A-FRAME SANDWICH BOARD	6	4		N/R
AIR/GAS-INFLATABLE BANNER	40	WALL HEIGHT	N/R	N/R
BEACON/SEARCH TRAILERS/CART W/ W/O WHEELS	32	4	3	N/R
WIND SIGNS – PERMITTED TEMPORARY SIGNAGE – NO PERMIT	40	15	N/R	N/R
COMMODITY PREMISES GROWN	16	6	N/R	N/R
CONSTRUCTION	16	6	N/R	N/R
CONSTRUCTION DEVELOP. I.D.				
GARAGE/YARD SALE	2	6	N/R	N/R
GRAND OPENING	16	6	N/R	N/R
MODEL HOME	16	6	N/R	N/R
NEW BUSINESS/OWNER	16	6	N/R	N/R
NO-TRESPASSING/HUNTING	2	6	N/R	N/R
POLITICAL	16	6	N/R	N/R
REAL ESTATE	16	6	N/R	N/R
RENTAL/LEASE	16	6	N/R	N/R
WINDOW SIGNS	10% of Address Window	Window	N/R	N/R

Shaded = Not Permitted

N/R = Not Regulated

\* = churches, institutional, and public buildings are permitted one (1) freestanding sign not to exceed twenty-four (24) square feet in area nor more than six (6) feet in height, and not more than (2) wall signs; the sum of which is not to exceed 50 SF. Religious symbols are exempt. (Ord. 2005-01)

ft = Height of wall or 5' below eave, maximum 25'.

<b>CHART 11.8a - SIGNAGE ALLOTMENT - AGRICULTURE DISTRICT OVER TEN (10) ACRES (D)</b>				
	<u>MAX. AREA PER (SQ. FT.)</u>	<u>MAX. HEIGHT (LINEAR FT.)</u>	<u>MAX. PROJECTION (INCHES)</u>	<u>MIN. HEIGHT (LINEAR FT.)</u>
<b>PERMANENT SIGNAGE PERMIT REQUIRED (A) (B)</b>				
<u>ATTACHED WALL (F)</u>	8	ft	3	N/R
<u>PROJECTED WALL</u>				
<u>AWNING/CANOPY</u>				
<u>MARQUEE</u>				
<u>SUSPENDED</u>	4	ft		8
<u>SUBDIVISION / APARTMENTS / CONDOMINIUM I.D. (C)</u>	12	6	3	N/R
<u>FREESTANDING ELEVATED (C)</u>	* 12	6	N/R <sup>3</sup>	N/R
<u>FREESTANDING GROUND (C)</u>	* 12	6	N/R <sup>3</sup>	Ground
<u>MESSAGE CENTER (C) (G)</u>				
<u>BILLBOARD</u>				
<b>PERMANENT SIGNAGE - NO PERMIT</b>				
<u>COURTESY (C) (E)</u>	2	6	3	N/R
<u>DIRECTIONAL (E)</u>	2	6	3	N/R
<u>IDENTIFICATION (C)</u>	2	6	3	N/R
<u>PUBLIC AGENCY (C) (E)</u>	2	6	3	N/R
<u>PUBLIC INTEREST (C)</u>	4	6	3	N/R
<b>TEMPORARY SIGNAGE - PERMIT REQUIRED</b>				
<u>A-FRAME SANDWICH BOARD (C)</u>	6	4		N/R
<u>AIR/GAS INFLATABLE (C)</u>				
<u>BANNER</u>	40	<u>WALL HEIGHT</u>	N/R	N/R
<u>BEACON/SEARCH (C)</u>				
<u>TRAILERS/CART W/WO WHEELS</u>	32	4	3	N/R
<u>WIND SIGNS - PERMITTED</u>	40	15	N/R	N/R
<b>TEMPORARY SIGNAGE - NO PERMIT</b>				
<u>COMMODITY PREMISES GROWN (C)</u>	16	6	N/R	N/R
<u>CONSTRUCTION (C)</u>	16**	6	N/R	N/R
<u>CONSTRUCTION DEVELOP. I.D. (C)</u>				
<u>GARAGE/YARD SALE (C) (E)</u>	2	6	N/R	N/R
<u>GRAND OPENING (C)</u>	16	6	N/R	N/R
<u>MODEL HOME (C)</u>	16	6	N/R	N/R
<u>NEW BUSINESS/OWNER (C)</u>	16	6	N/R	N/R
<u>NO TRESPASSING/HUNTING (E)</u>	2	6	N/R	N/R
<u>POLITICAL (C)</u>	16	6	N/R	N/R
<u>REAL ESTATE (C)</u>	16	6	N/R	N/R
<u>RENTAL/LEASE (C)</u>	16	6	N/R	N/R
<u>WINDOW SIGNS</u>	10% of Address Window	Window	N/R	N/R

Shaded = Not Permitted, N/R = Not Regulated, ft = Height of wall or 5' below eave, maximum 25'

\* = churches, institutional, and public buildings and uses allowed as special uses are permitted one (1) freestanding sign not to exceed twenty-four (24) square feet in area nor more than six (6) feet in height.

**SPECIAL INSTRUCTIONS**

- (A) Combined sign area / 12 of permanent permit only
- (B) Number of permitted for of permanent permit only
- 1 Wall Sign
- 1 Freestanding
- (C) Side Setback minimum 30% Setback - front to the road right
- (D) Illumination internal permit
- (E) - Additional permitted: one (1) per building Courtesy and aggregate sign exceed twelve feet. Public Agency Trespassing/Hunting Garage/Yard Sale
- (F) Sign area of Building on a lot shall be considered have two (2) feet. An additional the attached a frontage wall allotment shall permitted for address side of building. Sign not transferable
- (F) Allowed by residential use freestanding sign

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and not more than (2) wall signs, the sum of which is not to exceed 50 SF. Religious symbols are exempt. (Ord. 2005-01)

\*\*= The maximum size of a sign shall be thirty-two (32) square feet when listing two (2) or more firms

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**~~H.9 SIGNAGE ALLOTMENT—AGRICULTURE DISTRICT UNDER TEN (10) ACRES~~**  
**~~SPECIAL INSTRUCTIONS:~~**

~~1. Total maximum sign area not to exceed 8 square feet of permanent signage—permit only. (See preceding charts).~~

~~2. Total number of signs permitted for address side of permanent signage permit only—Two (2); wall one (1) freestanding—one (1).~~

~~3. Side setback—minimum 30', front setback—minimum of 10' to the road right of way.~~

~~4. Illumination: NOT PERMITTED except for Churches, Public and Institutional uses.~~

~~5. Additional signs permitted: Identification—one (1) per building, Courtesy and Directional—aggregate signs not to exceed twelve (12) square feet. Public Agency, No Trespassing/Hunting, Garage/Yard Sale no limit.~~

~~6. Sign area exceptions: Building on corner lots shall be considered to have two (2) front faces. An additional fifty (50%) percent of the attached address frontage wall sign allotment shall be permitted for the non address side of the building. Sign allotment is not transferable.~~

**Chart 11.9a SIGNAGE ALLOTMENT – AGRICULTURE DISTRICT UNDER TEN (10) ACRES**

PERMANENT SIGNAGE PERMIT REQUIRED	MAX. AREA PER SIGN (SQ. FT.)	MAX. HEIGHT (LINEAR FT.)	MAXIMUM PROJECTION (INCHES)	MIN. HEIGHT (LINEAR FT.)
ATTACHED WALL	4	⋈	3	N/R
PROJECTED WALL				
PROJECTED				
AWNING/CANOPY				
MARQUEE				
SUSPENDED				
SUBDIVISION/ APARTMENTS/ CONDOMINIUM I.D.	12	6	3	N/R
FREESTANDING ELEVATED	* 4	4	3	N/R
FREESTANDING GROUND	* 4	4	3	Ground
MESSAGE CENTER				
BILLBOARD				
PERMANENT SIGNAGE NO PERMIT IDENTIFICATION/INFORMAL SIGNAGE				
COURTESY	2	6	3	N/R
DIRECTIONAL	2	6	3	N/R
IDENTIFICATION	2	6	3	N/R
PUBLIC AGENCY	2	6	3	N/R
PUBLIC INTEREST	4	6	3	N/R

Shaded = Not Permitted

N/R = Not Regulated

\* = churches, institutional, and public buildings are permitted one (1) freestanding sign not to exceed twenty four (24) square feet in area nor more than six (6) feet in height, and not more than (2) wall signs, the sum of which is not to exceed 50 SF. Religious symbols are exempt. (Ord. 2005-01)

⋈ = Height of wall or 5' below eave, maximum 25'.



**11.9b SIGNAGE ALLOTMENT – AGRICULTURE DISTRICT UNDER TEN (10) ACRES**

TEMPORARY SIGNAGE PERMIT REQUIRED	MAX. AREA PER SIGN (SQ. FT.)	MAX. HEIGHT (LINEAR FT.)	MAX. PROJECTION (INCHES)	MIN. HEIGHT (LINEAR FT.)
A-FRAME SANDWICH BOARD	6 PER SIDE	4		N/R
AIR/GAS INFLATABLE				
BANNER				
BEACON/SEARCH				
TRAILERS/CART W/WO WHEELS				
WIND SIGNS				
TEMPORARY SIGNAGE – NO PERMIT				
COMMODITY PREMISES-GROWN	8	6	N/R	N/R
CONSTRUCTION	8	6	N/R	N/R
CONSTRUCTION DEVELOP. I.D.				
GARAGE/YARD SALE	2	6	N/R	N/R
GRAND OPENING	8	6	N/R	N/R
MODEL HOME	8	6	N/R	N/R
NEW BUSINESS/OWNER	8	6	N/R	N/R
NO TRESPASSING/HUNTING	2	6	N/R	N/R
POLITICAL	8	6	N/R	N/R
REAL ESTATE	8	6	N/R	N/R
RENTAL/LEASE	8	6	N/R	N/R
WINDOW SIGNS	10% of Address Window	Window	N/R	N/R

Shaded = Not Permitted

N/R = Not Regulated

\* = churches, institutional, and public buildings are permitted one (1) freestanding sign not to exceed twenty four (24) square feet in area nor more than six (6) feet in height, and not more than (2) wall signs, the sum of which is not to exceed 50 SF. Religious symbols are exempt. (Ord. 2005-01)

† = Height of wall or 5' below eave, maximum 25'.



	<u>Window</u>			
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Shaded = Not Permitted, N/R = Not Regulated, ↑ = Height of wall or 5' below eave, maximum 25'

\* = churches, institutional, and public buildings and uses allowed as special uses are permitted one (1) freestanding sign not to exceed twenty-four (24) square feet in area nor more than six (6) feet in height, and not more than (2) wall signs, the sum of which is not to exceed 50 SF. Religious symbols are exempt. (Ord. 2005-01)

\*\* = % of Address Window

**\*\*= The maximum size of a sign shall be thirty-two (32) square feet when listing two (2) or more firms**

**11.10 SIGNAGE ALLOTMENT— ALL RESIDENTIAL DISTRICTS**

- |      |                                   |     |                        |
|------|-----------------------------------|-----|------------------------|
| R-1  | One Family                        | R-3 | Multiple Family        |
| R-2A | One and Two Family Low Density    | R-4 | Mobile Home Park       |
| R-2B | One and Two Family Medium Density | R-5 | Mobile or Modular Home |

**SPECIAL INSTRUCTIONS:**

~~1. Total maximum sign area not to exceed twelve (12) square feet of permanent signage— permit only. (See chart).~~

~~2. Total number of signs permitted for address side of permanent signage— permit only— one (1): wall one (1) or freestanding one (1).~~

~~3. Side setback— minimum 30, front setback— minimum of 10' to the road right of way.~~

~~4. Illumination: Not permitted except for Churches, Public and Institutional uses.~~

~~5. Additional signs permitted: Identification— one (1) per building, Courtesy and Directional— aggregate signs not to exceed twelve (12) square feet. Public Agency, No Trespassing/Hunting, Garage/Yard Sale no limit.~~

~~6. Sign Area Exceptions:~~

~~Buildings on a corner lot shall be considered to have two (2) front faces. An additional fifty (50%) percent of the attached address frontage wall sign allotment shall be permitted for the non-address side of the building.~~

~~In R-3 Districts (apartment complexes) the identification signage, per building, shall be limited to four (4) square foot of signage per building.~~

~~Churches, Public and Institutional use are permitted one (1) freestanding sign not to exceed 24 square feet.~~

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**Chart 11.10a SIGNAGE ALLOTMENT – RESIDENTIAL**

PERMANENT SIGNAGE PERMIT REQUIRED	MAX. AREA PER SIGN (-SQ.-FT.)	MAX. HEIGHT (LINEAR FT.)	MAXIMUM PROJECTION (INCHES)	MIN. HEIGHT (LINEAR FT.)
ATTACHED WALL	2	†	3	N/R
PROJECTED WALL				
PROJECTED				
AWNING/CANOPY				
MARQUEE				
SUSPENDED				
SUBDIVISION / APARTMENTS / CONDOMINIUM I.D.	12	6	3	N/R
FREESTANDING ELEVATED	* 2	4	3	N/R
FREESTANDING GROUND	* 2	4	3	Ground
MESSAGE CENTER				
BILLBOARD				
PERMANENT SIGNAGE NO PERMIT IDENTIFICATION/INFORMAL SIGNAGE				
COURTESY	▲ 2	6	3	N/R
DIRECTIONAL	2	6	3	N/R
IDENTIFICATION	2	6	3	N/R
PUBLIC AGENCY	2	6	3	N/R
PUBLIC INTEREST	4	6	3	N/R

Shaded = Not Permitted

N/R = Not Regulated

\* = churches, institutional, and public buildings are permitted one (1) freestanding sign not to exceed twenty four (24) square feet in area nor more than six (6) feet in height, and not more than (2) wall signs, the sum of which is not to exceed 50 SF. Religious symbols are exempt. (Ord. 2005-01).

† = Height of wall or 5' below eave, maximum 25'.

▲ = R3 apartments are permitted 4 square feet of Identification signage per building

**Chart 11.10b SIGNAGE ALLOTMENT – RESIDENTIAL**

TEMPORARY SIGNAGE PERMIT REQUIRED	MAX. AREA PER SIGN (SQ. FT.)	MAX. HEIGHT (LINEAR FT.)	MAXIMUM PROJECTION (INCHES)	MIN. HEIGHT (LINEAR FT.)
A-FRAME SANDWICH BOARD				
AIR/GAS-INFLATABLE				
BANNER				
BEACON/SEARCH				
TRAILERS/CART W/WO WHEELS				
WIND SIGNS – PERMITTED				
TEMPORARY SIGNAGE – NO PERMIT				
COMMODITY PREMISES GROWN				
CONSTRUCTION	8	6	N/R	N/R
CONSTRUCTION DEVELOP. I.D.	32	8	N/R	N/R
GARAGE/YARD SALE	2	4	N/R	N/R
GRAND OPENING	8	4	N/R	N/R
MODEL HOME	4	4	N/R	N/R
NEW BUSINESS/OWNER				
NO TRESPASSING/HUNTING	2	4	N/R	N/R
POLITICAL	8	4	N/R	N/R
REAL ESTATE	8	4	N/R	N/R
RENTAL/LEASE	8	4	N/R	N/R
WINDOW SIGNS	10% of Address Window	Window	N/R	N/R

Shaded = Not Permitted

N/R = Not Regulated

\* = churches, institutional, and public buildings are permitted one (1) freestanding sign not to exceed twenty four (24) square feet in area nor more than six (6) feet in height, and not more than (2) wall signs, the sum of which is not to exceed 50 SF. Religious symbols are exempt. (Ord. 2005-01)

† = Height of wall or 5' below eave, maximum 25'.

<b>CHART 11.10a - SIGNAGE ALLOTMENT – ALL RESIDENTIAL DISTRICTS (R-1, R-2, R-3, R-4, R-5) (D)</b>				
	<u>MAX. AREA PER (SQ. FT.)</u>	<u>MAX. HEIGHT (LINEAR FT.)</u>	<u>MAX. PROJECTION (INCHES)</u>	<u>MIN. HEIGHT (LINEAR FT.)</u>
<b>PERMANENT SIGNAGE PERMIT REQUIRED (A) (B)</b>				
<u>ATTACHED WALL (F)</u>	<u>2</u>	<u>11</u>	<u>3</u>	<u>N/R</u>
<u>PROJECTED WALL</u>				
<u>AWNING/CANOPY</u>				
<u>MARQUEE</u>				
<u>SUSPENDED</u>				
<u>SUBDIVISION / APARTMENTS / CONDOMINIUM I.D. (C)</u>	<u>12</u>	<u>6</u>	<u>3</u>	<u>N/R</u>
<u>FREESTANDING ELEVATED (C) (H)</u>	<u>*2</u>	<u>4</u>	<u>N/R</u>	<u>N/R</u>
<u>FREESTANDING GROUND (C) (H)</u>	<u>*2</u>	<u>4</u>	<u>N/R</u>	<u>Ground</u>
<u>MESSAGE CENTER (C) (I)</u>				
<u>BILLBOARD</u>				
<b>PERMANENT SIGNAGE - NO PERMIT</b>				
<u>COURTESY (C) (E)</u>	<u>•2</u>	<u>6</u>	<u>3</u>	<u>N/R</u>
<u>DIRECTIONAL (E)</u>	<u>2</u>	<u>6</u>	<u>3</u>	<u>N/R</u>
<u>IDENTIFICATION (C) (G)</u>	<u>2</u>	<u>6</u>	<u>3</u>	<u>N/R</u>
<u>PUBLIC AGENCY (C) (E)</u>	<u>2</u>	<u>6</u>	<u>3</u>	<u>N/R</u>
<u>PUBLIC INTEREST (C)</u>	<u>4</u>	<u>6</u>	<u>3</u>	<u>N/R</u>
<b>TEMPORARY SIGNAGE - PERMIT REQUIRED</b>				
<u>A-FRAME SANDWICH BOARD (C)</u>				
<u>AIR/GAS INFLATABLE (C)</u>				
<u>BANNER</u>				
<u>BEACON/SEARCH (C)</u>				
<u>TRAILERS/CART W/VO WHEELS</u>				
<u>WIND SIGNS - PERMITTED</u>				
<b>TEMPORARY SIGNAGE - NO PERMIT</b>				
<u>COMMODITY PREMISES GROWN (C)</u>			<u>N/R</u>	<u>N/R</u>
<u>CONSTRUCTION (C)</u>	<u>8**</u>	<u>6</u>	<u>N/R</u>	<u>N/R</u>
<u>CONSTRUCTION DEVELOP. I.D. (C)</u>	<u>32</u>	<u>8</u>		
<u>GARAGE/YARD SALE (C) (E)</u>	<u>2</u>	<u>4</u>	<u>N/R</u>	<u>N/R</u>
<u>GRAND OPENING (C)</u>	<u>8</u>	<u>4</u>	<u>N/R</u>	<u>N/R</u>
<u>MODEL HOME (C)</u>	<u>4</u>	<u>4</u>	<u>N/R</u>	<u>N/R</u>
<u>NEW BUSINESS/OWNER (C)</u>			<u>N/R</u>	<u>N/R</u>
<u>NO TRESPASSING/HUNTING (E)</u>	<u>2</u>	<u>4</u>	<u>N/R</u>	<u>N/R</u>
<u>POLITICAL (C)</u>	<u>8</u>	<u>4</u>	<u>N/R</u>	<u>N/R</u>
<u>REAL ESTATE (C)</u>	<u>8</u>	<u>4</u>	<u>N/R</u>	<u>N/R</u>
<u>RENTAL/LEASE (C)</u>	<u>8</u>	<u>4</u>	<u>N/R</u>	<u>N/R</u>
<u>WINDOW SIGNS</u>	<u>10% of Address Window</u>	<u>Window</u>	<u>N/R</u>	<u>N/R</u>

**SPECIAL**

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(A) Total maximum sign area - 12 square feet of permanent signage – permit only

(B) Number of signs permitted for address side of permanent signage - permit only - 1  
1 Wall Sign OR  
1 Freestanding Sign

(C) Side Setback

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30'; Front Setback

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minimum of 10' to the road right-of-way.

(D) Illumination: NOT PERMITTED except for Churches, Public and Institutional uses.

(E) Additional signs permitted: Identification - one (1) per building, Courtesy and Directional - aggregate signs not to exceed twelve (12) square feet. Public Agency, No Trespassing/Hunting, Garage/Yard Sale no limit.

Sign area exceptions:  
(F) Building on a corner lot shall be considered to have two (2) front faces. An additional fifty (50%) of the attached address frontage wall sign allotment shall be permitted for the non-address side of the building.

(G) In R-3 Districts (apartment complexes) the identification signage, per building, shall be limited to four (4) square foot of signage per building.

(H) Churches, Public and Institutional use are permitted one (1) freestanding sign not to

						<p>exceed 24 square feet</p> <p>(l). Allowed by SUP for non-residential uses as part of freestanding sign</p>
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Shaded = Not Permitted, N/R = Not Regulated, ft = Height of wall or 5' below eave, maximum 25'

• = R3 apartments are permitted 4 square feet of Identification signage per building

\* = churches, institutional, and public buildings and uses allowed as special uses are permitted

one (1) freestanding sign not to exceed twenty-four (24) square feet in area nor more than six (6) feet in height, and not more than (2) wall signs, the sum of which is not to exceed 50 SF. Religious symbols are exempt. (Ord. 2005-01).

\*\*= The maximum size of a sign shall be thirty-two (32) square feet when listing two (2) or more firms

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#### ~~11.11 SIGNAGE ALLOTMENT—BUSINESS DISTRICTS~~

~~B-4 General Business B-6 Auto-Related Highway Business~~

~~B-5 Highway Business B-7 Related and Service Highway Business~~

#### ~~SPECIAL INSTRUCTIONS:~~

~~A. Total maximum sign area not to exceed 200 square feet permanent signage—permit only. (See chart).~~

~~B. Total number of signs permitted for address wall of permanent signage—permit only Three (3):~~

~~Wall—Two (2)~~

~~Freestanding—One (1).~~

~~C. Side Setback—minimum 20'; Front Setback—minimum of 10' to road right-of-way.~~

~~D. Illumination: direct and internal permitted.~~

~~E. Additional signs permitted: Identification—one (1) per building, Courtesy and Directional—aggregate signs not to exceed twelve (12) square feet. Public Agency, No Trespassing/Hunting, Garage/Yard Sale no limit.~~

~~F. Sign area exceptions:~~

~~1. Building on a corner lot shall be considered to have two (2) front faces. An additional fifty (50%) of the attached address frontage wall sign allotment shall be permitted for the non-address side of the building. Sign allotment is not transferable.~~

~~2. Where a public entrance to the business establishment is also provided at the rear or side of the building from an adjoining off-street parking area, one (1) additional attached wall sign will be permitted. The additional signage shall be included in the total allowable square feet for attached wall signs for the frontage address side.~~

~~3. Sign allotments, in SINGLE BUSINESS located on one (1) parcel~~

~~a. Single Business—Wall Signage: Wall signage is permitted at the rate of one (1) square foot for each lineal foot of building width, length, or height, which ever is greater on the address side. Total signage not to exceed one hundred (100) square feet.~~

**b. Single Business—Freestanding Signage**

~~1. Freestanding signage is permitted at the rate of one (1) square foot for each lineal foot of building frontage on address side, not to exceed one hundred (100) square feet.~~

~~2. Building with forty (40) lineal feet or less of front footage, address side, are permitted a maximum of forty (40) square feet.~~



e. Buildings over 100,000 square feet are allowed 150 square feet of freestanding signage, and one (1) or two (2) wall signs not to exceed 200 square feet total.

4. Sign Allotment—(In Integrated Groups of Stores/Businesses):

a. Integrated Groups—Wall Signage: Wall signage is permitted at the rate of one (1) square foot of signage for each lineal foot of building frontage, depth or height, whichever is greater each user occupies on the address side. Signage not to exceed one hundred (100) square feet.

b. Integrated Groups—Freestanding

1. Freestanding signage is permitted at the rate of one (1) square foot of signage for each lineal foot of the TOTAL building frontage, on the address side, not to exceed one hundred fifty (150) square feet.

2. Maximum permitted height 18 feet.

5. Gasoline Filling Station—Signage—

a. Wall/Canopy Signage

1. Wall/Canopy Signage permitted at the rate of one (1) square foot for each lineal foot of building frontage, on the address side, not to exceed fifty (50) square feet.

2. Total number of signs permitted shall not exceed 6 signs or emblems.

b. Freestanding Signage:

1. Freestanding signage is permitted at the rate of one (1) square foot for each lineal foot of building frontage on address side, not to exceed one hundred (100) square foot.

2. Signage permitted shall include the changeable copy signs.

**Freestanding Elevated Height Exceptions:** A business building located totally within five hundred (500) feet of the nearest edge of the intersection of an expressway and local street (not including ramps) shall be permitted one (1) freestanding sign not to exceed sixteen (16) feet above the highest point of the expressway roadbed at the intersection.

Where a ground sign is installed *in lieu of an elevated sign*, the applicant shall be entitled to an additional 32 SF of signage as follows (Ord 2002-03):

a. One additional wall sign up to 32 SF.

b. 32 SF may be distributed among any or all permitted permanent wall signs, no wall sign shall exceed 82 SF.

e. Total aggregate for permanent signs as allowed in 11.11.A may be increased to 232 SF.

**Chart 11.11a SIGNAGE ALLOTMENT – BUSINESS**

PERMANENT SIGNAGE PERMIT REQUIRED	MAX. AREA PER SIGN (SQ. FT.)	MAX. HEIGHT (LINEAR FT.)	MAXIMUM PROJECTION (INCHES)	MIN. HEIGHT (LINEAR FT.)
ATTACHED WALL	50	⌈	3	N/R
PROJECTED WALL	50	⌈	15	8
PROJECTED	50	⌈	48	8
AWNING/CANOPY	25	⌈	48	8
MARQUEE (BOTH SIDES)	12	⌈	48	8
SUSPENDED	15	⌈	N/R	8
<b>SUBDIVISION / APARTMENTS / CONDOMINIUM I.D.</b>				
FREESTANDING ELEVATED	100	16	3	N/R
FREESTANDING GROUND	100	6	3	Ground
MESSAGE CENTER	100	18	3	N/R
<b>BILLBOARD</b>				
<b>PERMANENT SIGNAGE NO PERMIT IDENTIFICATION/INFORMAL SIGNAGE</b>				
COURTESY	4	6	3	N/R
DIRECTIONAL	4	6	3	N/R
IDENTIFICATION	2	6	3	N/R
PUBLIC AGENCY	2	6	3	N/R
PUBLIC INTEREST	4	6	3	N/R

Shaded = Not Permitted

N/R = Not Regulated

⌈ = Height of wall or 5' below eave, maximum 25'.

**Chart 11.11b SIGNAGE ALLOTMENT – BUSINESS**

TEMPORARY SIGNAGE PERMIT REQUIRED	MAX. AREA PER SIGN (SQ. FT.)	MAX. HEIGHT (LINEAR FT.)	MAX. PROJECTION (INCHES)	MIN. HEIGHT (LINEAR FT.)
A-FRAME SANDWICH BOARD	6	4	N/R	N/R
AIR/GAS-INFLATABLE BANNER	40	WALL HEIGHT	N/R	8
BEACON/SEARCH (PERMITTED)	N/R	10	N/R	N/R
TRAILERS/CART W/NO WHEELS	32	4	3	N/R
WIND SIGNS	40	15	N/R	N/R
TEMPORARY SIGNAGE – NO PERMIT				
COMMODITY PREMISES-GROWN CONSTRUCTION	16	6	N/R	N/R
CONSTRUCTION DEVELOP. I.D.	32	8	N/R	N/R
GARAGE/YARD SALE	4	6	N/R	N/R
GRAND OPENING	16	6	N/R	N/R
MODEL HOME				
NEW BUSINESS/OWNER	16	6	N/R	N/R
NO TRESPASSING/HUNTING	2	6	N/R	N/R
POLITICAL	16	6	N/R	N/R
REAL ESTATE	16	6	N/R	N/R
RENTAL/LEASE	16	6	N/R	N/R
WINDOW SIGNS	10% of Address Window	Window	N/R	N/R

Shaded = Not Permitted

N/R = Not Regulated

ft = Height of wall or 5' below eave, maximum 25'.



MESSAGE CENTER (C)	100	18	3	N/R
BILLBOARD				
<b>PERMANENT SIGNAGE - NO PERMIT</b>				
COURTESY (C) (E)	4	6	3	N/R
DIRECTIONAL (E)	4	6	3	N/R
IDENTIFICATION (C)	2	6	3	N/R
PUBLIC AGENCY (C) (E)	2	6	3	N/R
PUBLIC INTEREST (C)	4	6	3	N/R
<b>TEMPORARY SIGNAGE - PERMIT REQUIRED</b>				
A-FRAME SANDWICH BOARD (C)	6	4	N/R	N/R
AIR/GAS INFLATABLE (C)				
BANNER	40	Wall Height	N/R	N/R
BEACON/SEARCH (C)	N/R	10	N/R	N/R
TRAILERS/CART W/WO WHEELS	32	4	3	N/R
WIND SIGNS - PERMITTED	40	15	N/R	N/R
<b>TEMPORARY SIGNAGE - NO PERMIT</b>				
COMMODITY PREMISES GROWN (C)				
CONSTRUCTION (C)	16*	6	N/R	N/R
CONSTRUCTION DEVELOP. I.D. (C)	32	8	N/R	N/R
GARAGE YARD SALE (C) (E)	4	6	N/R	N/R
GRAND OPENING (C)	16	6	N/R	N/R
MODEL HOME (C)				
NEW BUSINESS/OWNER (C)	16	6	N/R	N/R
NO TRESPASSING/HUNTING (E)	2	6	N/R	N/R
POLITICAL (C)	16	6	N/R	N/R
REAL ESTATE (C)	16	6	N/R	N/R
RENTAL/LEASE (C)	16	6	N/R	N/R
WINDOW SIGNS	10% of Address Window	Window	N/R	N/R

Shaded = Not Permitted, N/R = Not Regulated, ↑ = Height of wall or 5' below eave, maximum 25'  
 \* = The maximum size of a sign shall be thirty-two (32) square feet when listing two (2) or more firms

**SPECIAL INSTRUCTIONS (cont.)**

Sign allotments, in SINGLE BUSINESS located on one (1) parcel  
 (H). Single Business - Wall Signage: Wall signage is permitted at the rate of one (1) square foot for each lineal foot of building width, length, or height, whichever is greater on the address side. Total signage not to exceed one hundred (100) square feet.  
 (I). Single Business - Freestanding Signage  
 • Freestanding signage is permitted at the rate of one (1) square foot for each lineal foot of building frontage on address side, not to exceed one hundred (100) square feet.  
 • Building with forty (40) lineal feet or less of front footage, address side, are permitted a maximum of forty (40) square feet.  
 (J). Single Business with buildings over 100,000 square feet are allowed 150 square feet of freestanding signage, and one (1) or two (2) wall signs not to exceed 200 square feet total.  
Sign Allotment - (In Integrated Groups of Stores/Businesses).  
 (K). Integrated Groups - Wall Signage: Wall signage is permitted at the rate of one (1) square foot of signage for each lineal foot of building frontage, depth or height, whichever is greater each user occupies on the address side. Signage not to exceed one hundred (100) square feet.

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(L). Integrated Groups - Freestanding

- Freestanding signage is permitted at the rate of one (1) square foot of signage for each lineal foot of the TOTAL building frontage, on the address side, not to exceed one hundred fifty (150) square feet.
- Maximum permitted height 18 feet.

Gasoline Filling Station - Signage -

(M). Gasoline Filling Station -Wall/Canopy Signage

- Wall/Canopy Signage permitted at the rate of one (1) square foot for each lineal foot of building frontage, on the address side, not to exceed fifty (50) square feet.
- Total number of signs permitted shall not exceed 6 signs or emblems.

(N). Gasoline Filling Station - Freestanding Signage:

- Freestanding signage is permitted at the rate of one (1) square foot for each lineal foot of building frontage on address side, not to exceed one hundred (100) square foot.
- Signage permitted shall include the changeable copy signs.

(O) Freestanding Elevated Height Exceptions: A business building located totally within five hundred (500) feet of the nearest edge of the intersection of an expressway and local street (not including ramps) shall be permitted one (1) freestanding sign not to exceed sixteen (16) feet above the highest point of the expressway roadbed at the intersection.

(P)Where a ground sign is installed in lieu of an elevated sign, the applicant shall be entitled to an additional 32 SF of signage as follows (Ord 03):

- One additional wall sign up to 32 SF.
- 32 SF may be distributed among any or all permitted permanent wall signs, no wall sign shall exceed 82 SF.
- Total aggregate for permanent signs as allowed in 11.11.A may be increased to 232 SF.

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**~~11.12 SIGNAGE ALLOTMENT – INDUSTRIAL DISTRICT~~**

~~I-1 – Light Industrial – I-2 – General Industrial~~

**SPECIAL INSTRUCTIONS:**

~~A. Total maximum sign area not to exceed 100 square feet of permanent signage – permit only. (See chart).~~

~~B. Total number of signs permitted address side of permanent signage – permit only – two (2):~~

~~1. Wall – two (2) or~~

~~2. Freestanding – one (1) and one (1) Wall.~~

~~C. Side setback – minimum 30; front setback – minimum of 10' to road right of way.~~

~~D. Illumination: Direct and Internal permitted.~~

~~E. Additional signs permitted: Identification – one (1) per building, Courtesy and Directional – aggregate signs not to exceed twelve (12) square feet. Public Agency, No Trespassing/Hunting, Garage/Yard Sale no limit.~~

**F. Sign Allotments**

~~1. Wall signs: Attached and projected signs, for single industries will be permitted the rate of one (1) square foot for each lineal foot of building frontage on address side, not to exceed forty (40) square feet.~~

~~2. Freestanding ground sign for a single business and integrated businesses will be permitted signage at the rate of one (1) square foot of building frontage, address side, not to exceed forty (40) square feet.~~

**G. Sign Area Exceptions:**

~~1. Corner lots shall be considered to have two front faces. An additional fifty (50%) percent of the attached address frontage wall sign allotment will be permitted for the non-address side of the business. Sign allotment is not transferable.~~

~~2. Where a public entrance to the building establishment is also provided at the rear or side of the building from an adjoining off street parking area, one (1) additional attached wall sign will be permitted. The additional signage shall be included in the total allowable square feet for attached wall signs for the frontage address.~~

~~3. Industrial Park Identification Sign: Industrial Park shall be permitted one (1) freestanding ground sign. Maximum of sixty (60) square feet shall include the name of the Industrial Park. The sign shall be located at or near the entrance to the park.~~

**Chart 11.12a SIGNAGE ALLOTMENT — INDUSTRIAL**

PERMANENT SIGNAGE PERMIT REQUIRED	MAX. AREA PER SIGN (SQ. FT.)	MAX. HEIGHT (LINEAR FT.)	MAXIMUM PROJECTION (INCHES)	MIN. HEIGHT (LINEAR FT.)
ATTACHED WALL	60	⋈	3	N/R
PROJECTED WALL	60	⋈	3	8
PROJECTED AWNING/CANOPY	0	⋈	48	8
MARQUEE				
SUSPENDED				
SUBDIVISION / APARTMENTS / CONDOMINIUM I.D.				
FREESTANDING ELEVATED				
FREESTANDING GROUND	60	6	3	Ground
MESSAGE CENTER				
BILLBOARD	300	25	3	10
PERMANENT SIGNAGE NO PERMIT IDENTIFICATION/INFORMAL SIGNAGE				
COURTESY	2	6	3	N/R
DIRECTIONAL	2	6	3	N/R
IDENTIFICATION	2	6	3	N/R
PUBLIC AGENCY	2	6	3	N/R
PUBLIC INTEREST	4	6	3	N/R

Shaded = Not Permitted

N/R = Not Regulated

⋈ = Height of wall or 5' below eave, maximum 25'.



**Chart 11.12b SIGNAGE ALLOTMENT—INDUSTRIAL**

TEMPORARY SIGNAGE PERMIT	MAX. AREA PER SIGN (SQ. FT.)	MAX. HEIGHT (LINEAR FT.)	MAXIMUM PROJECTION (INCHES)	MIN. HEIGHT (LINEAR FT.)
A-FRAME SANDWICH BOARD				
AIR/GAS-INFLATABLE				
BANNER				
BEACON/SEARCH (PERMITTED)				
TRAILERS/CART W/WO WHEELS				
WIND SIGNS—PERMITTED				
TEMPORARY SIGNAGE—NO PERMIT				
COMMODITY PREMISES GROWN				
CONSTRUCTION	16	6	N/R	N/R
SUBDIVISION / APARTMENTS / CONDOMINIUM I.D.	32	6	N/R	N/R
GARAGE/YARD SALE				
GRAND OPENING	16	6	N/R	N/R
MODEL HOME			N/R	N/R
NEW BUSINESS/OWNER	16	6	N/R	N/R
NO TRESPASSING/HUNTING	2	6	N/R	N/R
POLITICAL	16	6	N/R	N/R
REAL ESTATE	16	6	N/R	N/R
RENTAL/LEASE	16	6	N/R	N/R
WINDOW SIGNS	10% of Address Window	Window	N/R	N/R

Shaded = Not Permitted

N/R = Not Regulated

ft = Height of wall or 5' below eave, maximum 25'.

<b>CHART 11.12a - SIGNAGE ALLOTMENT – INDUSTRIAL DISTRICTS (I-1, I-2) (D)</b>					
	MAX. AREA PER (SQ. FT.)	MAX. HEIGHT (LINEAR FT.)	MAX. PROJECTION (INCHES)	MIN. HEIGHT (LINEAR FT.)	
<b>PERMANENT SIGNAGE PERMIT REQUIRED (A) (B)</b>					
ATTACHED WALL (F) (H) (I)	60	↑	3	N/R	
PROJECTED WALL	60	↑	15	8	
PROJECTED					
AWNING/CANOPY (M)	0	↑	48	8	
MARQUEE					
SUSPENDED					
<b>SUBDIVISION / APARTMENTS / CONDOMINIUM I.D. (C)</b>					
FREESTANDING ELEVATED (C)					
FREESTANDING GROUND (C) (G) (I)	60	6	N/R <sup>3</sup>	Ground	
MESSAGE CENTER (C)					
BILLBOARD	300	25	3	10	
<b>PERMANENT SIGNAGE - NO PERMIT</b>					
COURTESY (C) (E)	2	6	3	N/R	
DIRECTIONAL (E)	2	6	3	N/R	
IDENTIFICATION (C)	2	6	3	N/R	
PUBLIC AGENCY (C) (E)	2	6	3	N/R	
PUBLIC INTEREST (C)	4	6	3	N/R	
<b>TEMPORARY SIGNAGE - PERMIT REQUIRED</b>					
A-FRAME SANDWICH BOARD (C)					
AIR/GAS INFLATABLE (C)					
BANNER					
BEACON/SEARCH (C)					
TRAILERS/CART W/WO WHEELS					
WIND SIGNS - PERMITTED					
<b>TEMPORARY SIGNAGE - NO PERMIT</b>					
COMMODITY PREMISES GROWN (C)					
CONSTRUCTION (C)	16*	6	N/R	N/R	
CONSTRUCTION DEVELOP. I.D. (C)	32	8	N/R	N/R	
GARAGE/YARD SALE (C) (E)					
GRAND OPENING (C)	16	6	N/R	N/R	
MODEL HOME (C)					
NEW BUSINESS/OWNER (C)	16	6	N/R	N/R	
NO TRESPASSING/HUNTING (E)	2	6	N/R	N/R	
POLITICAL (C)	16	6	N/R	N/R	
REAL ESTATE (C)	16	6	N/R	N/R	
RENTAL/LEASE (C)	16	6	N/R	N/R	
WINDOW SIGNS	10% of Address Window	Window	N/R	N/R	

<b>SPECIAL INSTRUCTIONS</b>
(A) Total maximum sign area – 100 SF of permanent signage – permit only
(B) Number of signs permitted for address side of permanent signage - permit only - 2 2 Wall Sign OR 1 Freestanding and 1 Wall Sign
(C) Side Setback - minimum 30'; Front Setback - minimum of 10' to the road right-of-way.
(D) Illumination: direct and internal permitted
(E). Additional signs permitted: Identification- one (1) per building, Courtesy and Directional - aggregate signs not to exceed twelve (12) SF. Public Agency, No Trespassing/Hunting, Garage/Yard Sale no limit.
Sign Allotments: (F) Wall signs: Attached and projected signs, for single industries will be permitted the rate of one (1) square foot for each lineal foot of building frontage on address side, not to exceed forty (40) square feet
(G) Freestanding ground sign for a single business and integrated businesses will be permitted signage at the rate of one (1) square foot of building frontage, address side, not to exceed forty (40) square feet
Special Instructions continue next page

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Shaded = Not Permitted, N/R = Not Regulated, ↑ = Height of wall or 5' below eave, maximum 25'  
 \* = The maximum size of a sign shall be thirty-two (32) square feet when listing two (2) or more firms

**SPECIAL INSTRUCTIONS (cont.)**

Sign Area Exceptions:

(H) Corner lots shall be considered to have two front faces. An additional fifty (50%) percent of the attached address frontage wall sign allotment will be permitted for the non-address side of the business. Sign allotment is not transferable.

(I) Where a public entrance to the building establishment is also provided at the rear or side of the building from an adjoining off street parking area, one (1) additional attached wall sign will be permitted. The additional signage shall be included in the total allowable square feet for attached wall signs for the frontage address

(J) Industrial Park Identification Sign: Industrial Park shall be permitted one (1) freestanding ground sign. Maximum of sixty (60) square feet shall include the name of the Industrial Park. The sign shall be located at or near the entrance to the park.

## 11.13 SIGNAGE ALLOTMENT—OFFICE SERVICE DISTRICTS

OS—Office Service

### SPECIAL INSTRUCTIONS:

~~A. Total maximum aggregate sign area not to exceed 100 square feet permanent signage—permit only. (See chart).~~

~~B. Total number of wall and freestanding signs—Three (3):~~

~~1. Wall—Two (2) on address side of building only~~

~~2. Freestanding ground sign—One (1).~~

~~A. Side Setback—minimum 20'; Front Setback—minimum of 10' to road right of way.~~

~~B. Illumination: Internal permitted for free standing ground sign only; wall sign illumination not permitted.~~

~~C. Additional signs permitted: Identification—one (1) per building, Courtesy and Directional—aggregate signs not to exceed twelve (12) square feet. Public Agency, No Trespassing/Hunting, Garage/Yard Sale no limit.~~

~~D. Sign area exceptions:~~

~~1. Building on a corner lot shall be considered to have two (2) front faces. An additional fifty percent (50%) of the attached address frontage wall sign allotment shall be permitted for the non-address side of the building. Sign allotment is not transferable.~~

~~2. Where a public entrance to the office building is also provided at the rear or side of the building from an adjoining off-street parking area, one (1) additional attached wall sign will be permitted indicating the public entrance.~~

### Sign allotments

~~1. in a Single tenant office building~~

~~a. Wall Signage: Wall signage is permitted at the rate of one (1) square foot for each lineal foot of building width, length, or height, which ever is greater on the address side, not to exceed 25 square feet per wall sign. Total signage not to exceed one fifty (50) square feet.~~

~~b. Freestanding Signage~~

~~1. Freestanding signage is permitted at the rate of one (1) square foot for each lineal foot of building frontage on address side, not to exceed fifty (50) square feet.~~

2. Building with forty (40) lineal feet or less of front footage, address side, are permitted a maximum of forty (40) square feet.

~~2 Sign Allotment—(Multiple Tenant office buildings):~~

~~a. Integrated Groups—Wall Signage: Wall signage is permitted at the rate of one (1) square foot of signage for each lineal foot of building frontage, width or height, whichever is greater each user occupies on the address side. Signage not to exceed one twenty five (25) square feet per tenant. Square footage is not transferable from one tenant to another, or from unoccupied to occupied suits.~~

~~b. Integrated Groups—Freestanding~~

~~1. Freestanding signage is permitted at the rate of one (1) square foot of signage for each lineal foot of the TOTAL building frontage, on the address side, not to exceed seventy five (75) square feet.~~

~~2. Ground signs only.~~